

Noble Creek Vistas
Final Specific Plan

Prepared for:
City of Beaumont
550 E. Sixth Street
Beaumont, CA 92223

Prepared by:
Applied Planning, Inc.
5817 Pine Avenue
Suite A
Chino Hills, CA 91709

REVISED June 2014

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SECTION 1: INTRODUCTION

SECTION 1: INTRODUCTION

1.1 - PROJECT LOCATION AND LOCAL LAND USES

The Noble Creek Vistas Specific Plan project site is comprised of approximately 332+ acres in the City of Beaumont's sphere of influence, as shown on Figure 1.1-1, "Regional Location" and Figure 1.1-2, "Project Vicinity." The site is bounded by Oak Valley Parkway to the south and Brookside Avenue to the north. The project site is bounded to the east by Beaumont Avenue. Existing land uses in the project area include single-family homes, apartments, mobile homes, the Noble Creek Park, neighborhood commercial, vacant land and a Riverside County Road Department maintenance yard.

1.1.1 Existing On-Site Land Uses and Zoning Designations

Figure 1.1-3, "Existing Land Uses," identifies existing uses within the project site and on vicinity properties. The approximately 332-acre project site presently lies within unincorporated Riverside County, at the northerly limits of the City of Beaumont. Incorporated areas of the City abut the project site to the south, east, and west. Implementation of the proposed Specific Plan would occur only upon annexation of the project site into the City of Beaumont.

1.1.2 Project Site Land Uses

The irregularly-shaped project area is bounded by Brookside Avenue on the north; Beaumont Avenue on the east; Oak Valley Parkway to the south; Noble Creek Park to the southwest, and the Oak Valley Planned Residential Community to the west. From its northeasterly corner at the intersection of Brookside Avenue and Beaumont Avenue, the project area slopes gently southwesterly.



NOT TO SCALE

Source: Applied Planning, Inc.



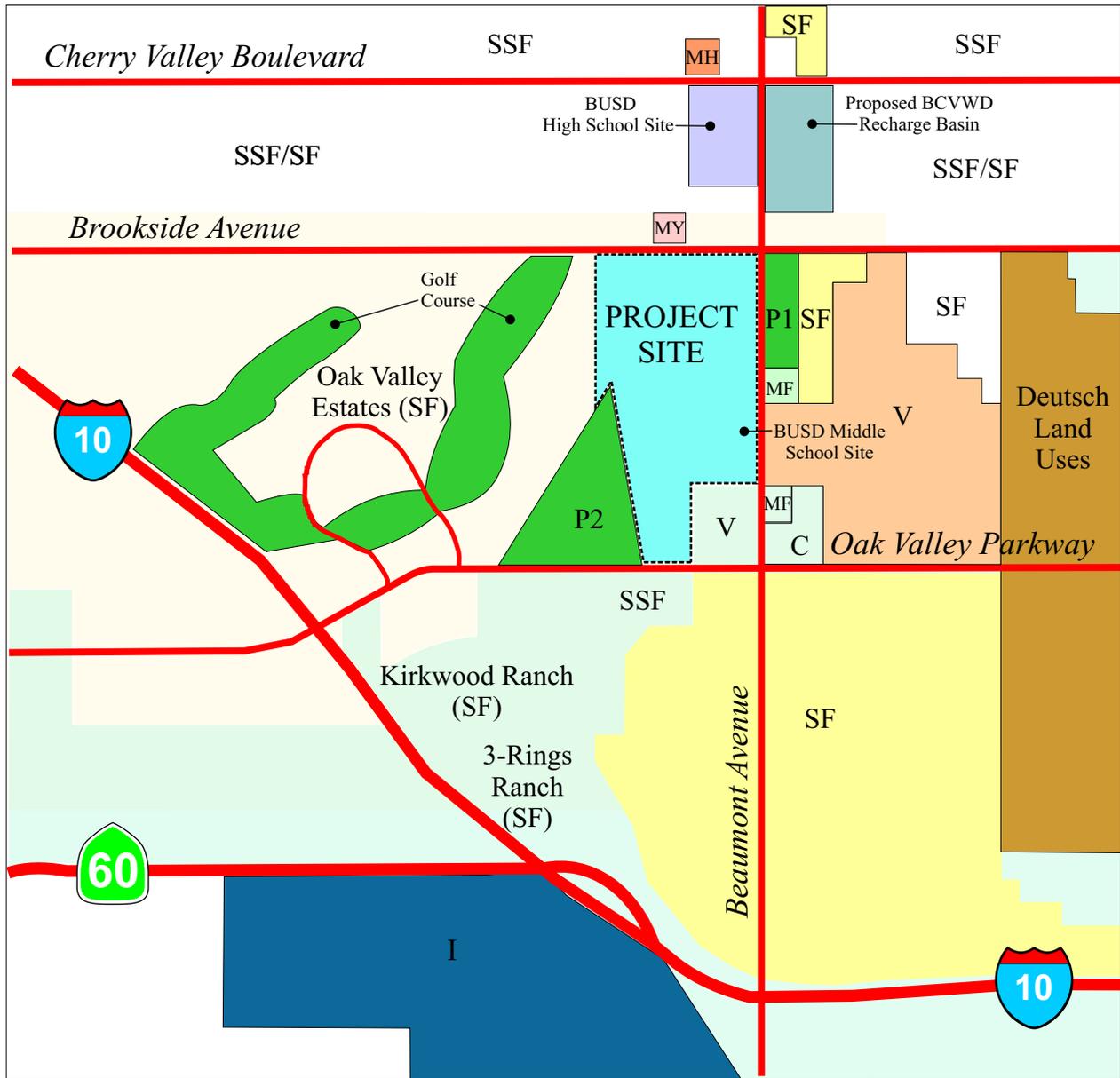
Figure 1.1-1
Regional Location



Source: Applied Planning, Inc.



Figure 1.1-2
Project Vicinity



LEGEND:

- | | | | |
|----|--|-----|-------------------------------------|
| P1 | City Sports Park | V | Vacant |
| P2 | Noble Creek Park | MF | Multi-Family Residential |
| MH | Mobile Home Park | SF | Single Family Residential |
| MY | Riverside County Road Maintenance Yard | SSF | Scattered Single Family Residential |
| | | C | Commercial |
| | | I | Industrial |



NOT TO SCALE

Source: Applied Planning, Inc.



Figure 1.1-3
Existing Land Uses

Elevations within the project area generally range from 2,700 feet above mean sea level (m.s.l.) in the northeast, to 2,570 feet m.s.l. in the southwest.

The majority of the project site has historically been used for limited dryland farming and cattle grazing. However there is no current, nor has there been any recent, productive agricultural use of the project area. At present, the proposed Specific Plan area is predominantly vacant and unimproved. Within the past three years, two new schools have been developed on site including an elementary school located at the northwest corner of the site (Brookside Avenue and Oak View Drive) and a middle school on the northwest corner of Cougar Way and Beaumont Avenue. One residential home, together with scattered auxiliary buildings, also exists within the project area.

The unlined Noble Creek storm channel transects the project site in a northeast to southwest direction. Within the Noble Creek channel, limited sand and gravel mining/reclamation is currently being conducted.

Another notable feature within the project area is a Southern California Edison utility easement. With overhead high-voltage power lines in place, this easement crosses the southern portion of the site in an east-west direction, approximately 1,000 feet north of Oak Valley Parkway.

1.1.3 Adjacent Land Uses

Land uses abutting the project site to the north/northwest are characterized by scattered single family residences and vacant, unimproved properties. Additional uses in this area include a mobile home park and a County maintenance yard located to the north/northwest of the project site. Northerly of the project, across Brookside Avenue, the Beaumont Unified School District has developed a 110-acre high school site. Although its boundaries extend to Brookside Avenue, the defined enclave of the unincorporated community of Cherry Valley lies approximately 1/2 mile further to the north, across Cherry Valley Boulevard. Residential units are located south of the Sports Park. An existing

commercial shopping center is located at the northeast corner of Oak Valley Parkway and Beaumont Avenue.

Adjacent and abutting properties to the east, south, and west of the project site lie within the City of Beaumont. Easterly of the project site, across Beaumont Avenue, are mixed of uses including vacant, unimproved properties; single and multifamily residential development; neighborhood commercial uses; and the City Sports Park. Southerly of the project site, across Oak Valley Parkway, are vacant properties and scattered single-family residences. Noble Creek Park constitutes the southwesterly boundary of the proposed Specific Plan area. To the west of the Project, ongoing construction of the Oak Valley Planned Residential Community is occurring.

The area north of the Specific Plan area (north of Brookside Avenue) is located within the boundaries of the Cherry Valley Community of Interest. The Community of Interest boundaries are recognized by LAFCO and reflect the establishment of the identifiable community of Cherry Valley as a Riverside County Unincorporated Community. Planning for Cherry Valley seeks to maintain a rural ambience and reinforcement of the community's low-density character. The Community of Interest designation is advisory, not legislative. The implementation of the Specific Plan requires annexation to the City of Beaumont.

1.1.4 Existing General Plan Land Use and Zoning Designations

The project site currently lies within Riverside County (as of August 2006), and within the City of Beaumont's Sphere of Influence (SOI). The completion of annexation to the City is expected in late 2006. The proposed Specific Plan area is currently bounded to the west, south, and east by the City. As an element of any City approval, the project site would be annexed to the City of Beaumont. Considerations regarding the project's potential land use impacts presented in subsequent discussions within this section, including General Plan and Zoning consistency, are predicated on approval of the project's requested General Plan Amendment and rezoning, and annexation of the project area to the City of Beaumont.

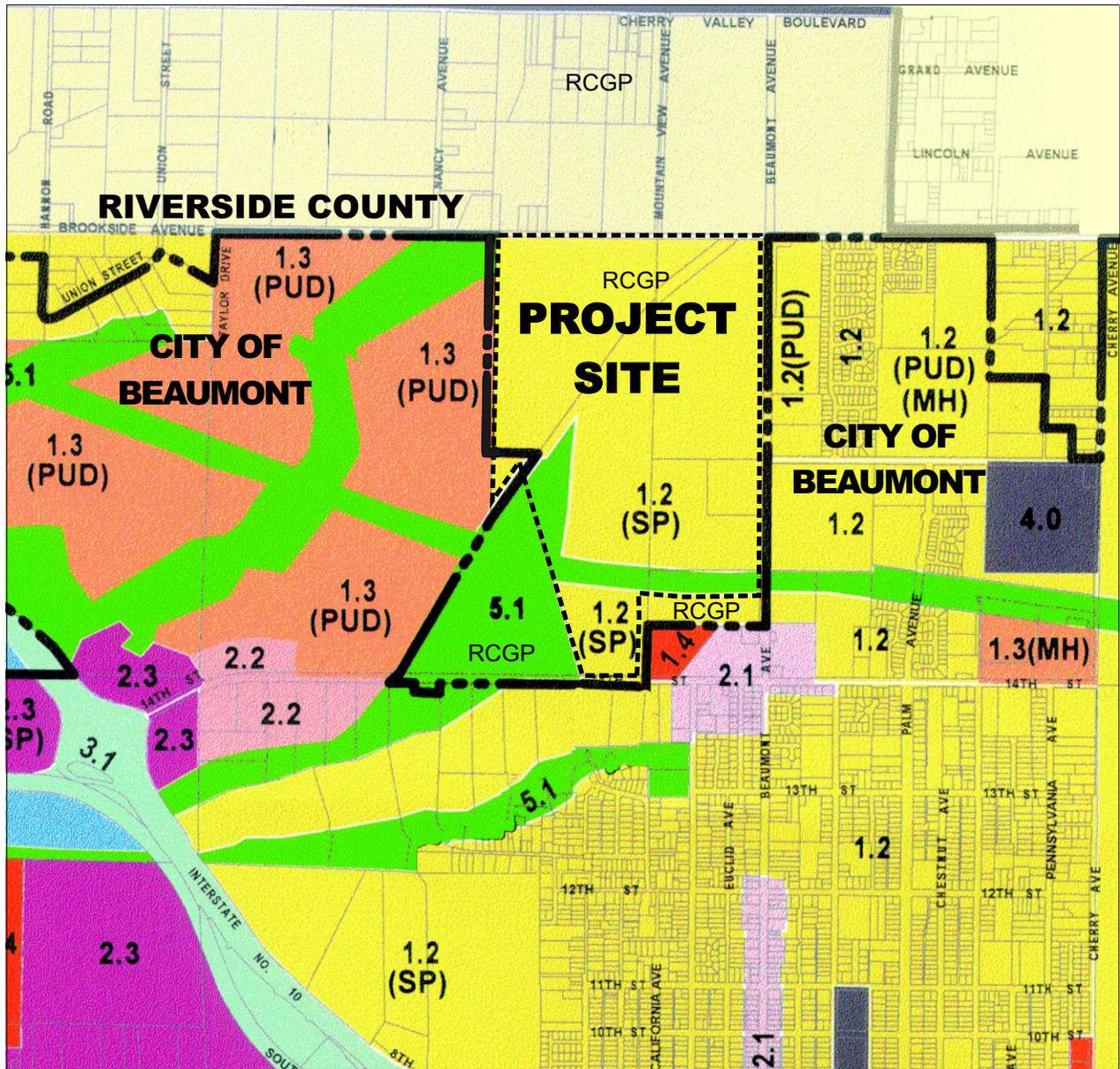
Existing General Plan Land Use and Zoning designations of the project site and vicinity are presented in Figure 1.1-4 and 1.1-5 respectively. As applicable, both Riverside County and City designations are indicated.

1.1.5 Project Site General Plan Land Use and Zoning Designations

Current Riverside County Zoning designations of the project site are: A-1-20, “Light Agriculture-20 Acre Minimum Lot Size”; W-2, “Controlled Development ”; R-1, “One-Family Dwelling”; and W-1, “Water Course.” In summary, these land use designations reflect the current undeveloped state of the project area, as well limited residential and agricultural uses that have occurred in the past.¹

City General Plan Land Use designations for the project site, as reflected by land use designations for properties within the City’s SOI, are: 1.2 (SP), “Low Density Residential (Specific Plan)” and 5.1, “Recreation.” A limited area of the project site, approximately 4-5 acres located northerly of Noble Creek Park, along the westerly project boundary, currently lies within the City of Beaumont. City General Plan Land Use designation of this property is 1.2, “Low Density Residential.” Correlating City Zoning of this property is R-SF, “Residential Single-Family.”

¹ The latest Riverside County General Plan, adopted in October 2003, indicates a land use designation of “Very Low Density Residential (1 acre minimum lot size)” for the northern portion of the Project site, and “Medium Density Residential (2-5 D.U./acre)” for the southern portion of the site.



RESIDENTIAL LAND USE CATEGORIES

- 1.1 Rural Density (0-2.3 Units/Acre)
- 1.2 Low Density (2.4-4.1 Units/Acre)
- 1.3 Medium Density (4.2-8.0 Units/Acre)
- 1.4 High Density (8.1-16.0 Units/Acre)

COMMERCIAL LAND USE CATEGORIES

- 2.1 Neighborhood Commercial
- 2.2 Community Commercial
- 2.3 Highway Commercial

INDUSTRIAL LAND USE CATEGORIES

- 3.1 Light Industrial
- 3.2 Business Park

PUBLIC FACILITIES LAND USE CATEGORIES

- 4.0 Public Facilities

OPEN SPACE LAND USE CATEGORIES

- 5.1 Recreation

- City Boundary
- - - Project Boundary

RCGP = Riverside County General Plan

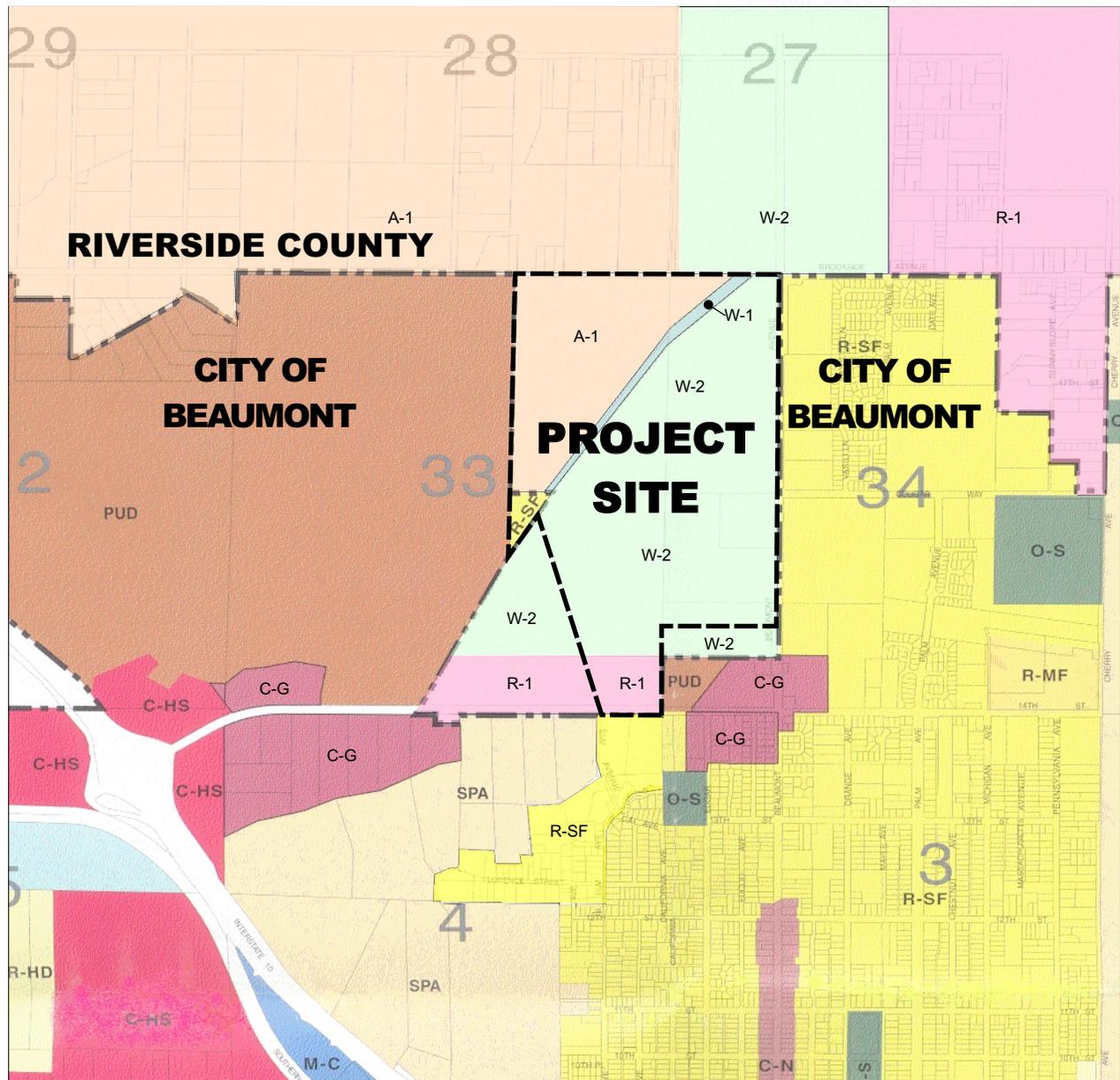
Note: Land use designations within RCGP areas, south of Brookside Avenue, reflect City SOI land uses and classifications.



Source: City of Beaumont; Applied Planning, Inc.



Figure 1.1-4
Existing General Plan Land Use Designations



RIVERSIDE COUNTY

- W-2 Controlled Development
- R-1 Residential Single Family
- W-1 Watercourse
- A-1 Light Agriculture

- City Boundary
- Project Boundary

CITY OF BEAUMONT

RESIDENTIAL ZONES

- R-SF Residential-Single Family
- R-MF Residential-Multiple Family
- R-HD Residential-High Density

COMMERCIAL ZONES

- C-N Commercial-Neighborhood
- C-G Commercial-General
- C-HS Commercial-Highway Service

MANUFACTURING ZONES

- M-IP Industrial Park
- M-C Commercial-Light Manufacturing

OPEN SPACE ZONES

- OS Open Space, Conservation & Recreation

OTHER ZONES

- PUD Planned Unit Development
- SPA Specific Plan Area



Source: City of Beaumont; Applied Planning, Inc.



Figure 1.1-5
Existing Zoning

1.1.6 Adjacent General Plan and Zoning Designations

Northerly of the project, the City SOI General Plan Land Use designation is 1.1 (SP), "Rural Density Residential (Specific Plan)." Current Riverside County Zoning for areas north of the project site include A-1, "Light Agriculture (10-20 Acre Minimum Lot Size)"; W-2, "Controlled Development"; and R-A, "Residential Agriculture."²

Easterly of the project site, City General Plan Land Use designations are 1.2 (PUD), "Low Density Residential (Planned Unit Development)," and 1.2, "Low Density Residential." Correlating City Zoning for these areas is R-SF, "Residential-Single Family."

Southeasterly abutting the project site is an approximately 15-acre parcel of currently unincorporated Riverside County. The City's SOI General Plan Land Use Element designation for this parcel is 1.2 (SP), "Low Density Residential (Specific Plan)." Current Riverside County Zoning of this parcel is W-2, "Controlled Development." As directed by LAFCO, this parcel would be annexed to the City concurrent with annexation of the Noble Creek Specific Plan area.

South of this parcel are limited areas of 2.1, "Neighborhood Commercial," and 1.4, "High Density Residential" City General Plan land uses. Correlating City Zoning for these areas are, respectively, PUD, "Planned Unit Development" and C-G, "Commercial-General."

Southerly of the project area, across Oak Valley Parkway, is an approximately 60-acre area of previously unincorporated Riverside County. Now annexed, the City General Plan Land Use designations are 1.2, "Low Density Residential," and 5.1, "Recreation." Correlating City Zoning for this area is R-SF, "Residential-Single Family."

² The October 2003 County General Plan designates areas north of the Project Site as "Rural Community, Very Low Density Residential (1 acre minimum lot size)."

Southwesterly abutting the project site is Noble Creek Park. This park currently lies within unincorporated Riverside County. The City SOI General Plan Land Use Element designation for this area is 5.1, "Recreation." Current Riverside County Zoning designations of Noble Creek Park are R-1, "Residential" and W-2, "Controlled Development." As directed by LAFCO, Noble Creek Park would be annexed to the City concurrent with the Specific Plan annexation.

West of the project site is the Oak Valley Planned Residential Community. City General Plan Land Use designation of this area is 1.3 (PUD), "Medium Density Residential (Planned Unit Development)." Correlating City Zoning for this area is SPA, "Specific Plan Area."

1.1.7 City of Beaumont Annexation

As previously identified the project lies within the City of Beaumont sphere of influence. The project site is currently within an unincorporated portion of Riverside County immediately adjacent to the City of Beaumont corporate boundary. Project implementation will require annexation to the City of Beaumont. The City of Beaumont is acting as lead agency for the concurrent processing of the Specific Plan, subdivision maps, and environmental impact report.

1.2 - MARKET OBJECTIVES

This project has been designed to be targeted toward and cater to the needs of a wide variety of buyers. Specific market objectives are:

- Provide a variety of single-family detached housing types and densities which will reflect the marketing needs of the area.
- Plan the project to exude a sense of a planned community.
- Provide recreational amenities which will serve the needs of the community.

- Provide land uses that are consistent with on-going development in the area. Provide “move-up” opportunities for present residents in the vicinity and the surrounding Riverside County area.
- Provide a functional roadway system on-site which fosters the safe and efficient movement of local traffic, while discouraging through traffic when possible.
- Reinforce community identity of the project through control of design elements such as entry statements, signage, walls/fencing, and landscaped parkways.
- Provide a balanced community which is aesthetically pleasing to residents and visitors, and acceptable to the City of Beaumont.
- Provide a sensible land use transition between the more urbanized components of Beaumont and the rural community of Cherry Valley.

SECTION 2: SPECIFIC PLAN

SECTION 2: SPECIFIC PLAN

2.1 - PLANNING OBJECTIVES

This Specific Land Use Plan is being prepared within the framework of a detailed and comprehensive multi-disciplinary planning program. Issues such as land use planning, traffic engineering, City General Plan goals and objectives, development phasing and local community goals have been fully examined and considered. To further ensure the environmental compatibility, aesthetic satisfaction and functional integrity of the plan, specific planning goals and objectives were identified. These were defined and identified in part through a careful analysis by an Opportunities and Constraints Study. With this analysis and the site goals and objectives in mind, the Noble Creek Vistas Specific Plan:

- Considers topographic, geologic, hydrologic and environmental opportunities and constraints to create a design that generally conforms to the character of the land by retaining and utilizing basic landforms as much as possible.
- Reflects anticipated marketing needs and public demand by providing a range of single detached housing types which will be marketable within the developing economic profile of the Beaumont area.
- Provides residential development and adequate support facilities (recreation) and circulation in a convenient and efficient manner.
- Provides direct and convenient access to individual residential neighborhoods and recreational areas via a safe and efficient circulation system composed of a network

of Arterial, Major, Secondary, Collector, Local Roadways, each designed for appropriate traffic and user needs.

- Provides for alternative modes of transportation within and adjacent to the site including pedestrian, equestrian and bicycle trails, which will foster the conservation of valuable energy resources as well as lessen potential future air pollution in the immediate area.

2.2 - PROPOSED LAND USES

The Noble Creek Vistas development will be a high quality, master-planned community. Through a strong cohesive community design, the development will offer a diverse, convenient living environment for future residents.

When fully developed, a maximum of 648 homes will be constructed at Noble Creek Vistas. The homes will be developed on lots ranging from 6,000 square feet to over 15,000 square feet. In addition, Noble Creek Vistas residents will be provided with four neighborhood parks for recreational use, and an elementary school and middle school.

Proposed land uses have been separated into planning areas as presented in Table 2.2-1 and summarized in the following discussions. Please also refer to Figure 2.2-1, "Noble Creek Vistas Planning Areas." Development standards for each of the planning areas are presented in Section 3.

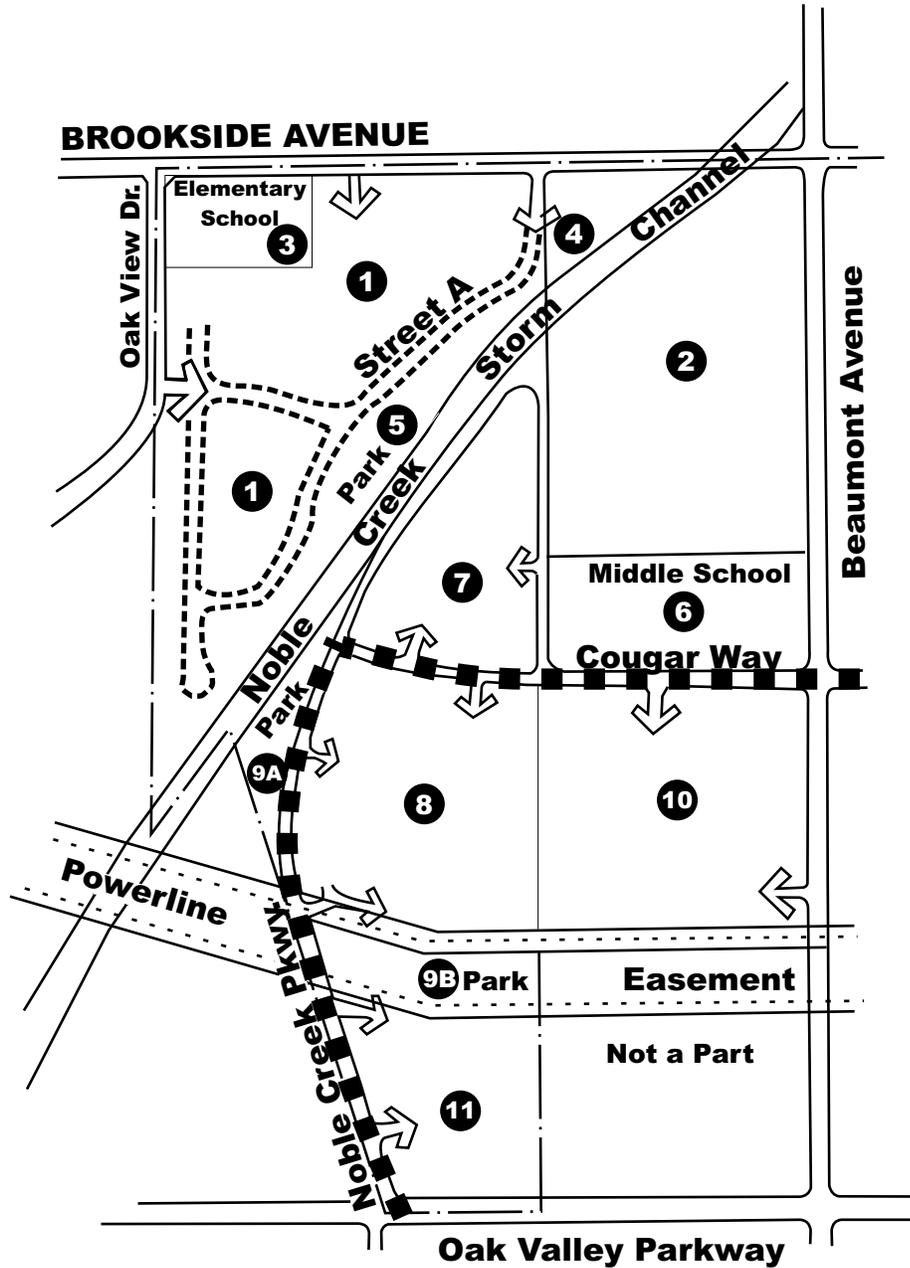
Table 2.2-1
Noble Creek Vistas Specific Plan
Land Use Summary

Planning Area	Land Use	Acres	Typical Lot Sizes	Dwelling Units	Average Density
1	Residential	58.4	6,000-15,000 sf	180	3.1
2	San Gorgonio Pass Water Agency Recharge Area	41.26	7,000-12,000 sf	126 ¹	3.4
7	Residential	25.14	7,303 sf	80	3.18
8	Residential	36.19	6,858 sf	128	3.54
10	Residential	40.0	7,000-15,000 sf	68	1.7
11	Residential	21.51	8,192 sf	66	3.07
<i>Subtotal</i>		222.5		648	2.9
3	Elementary School	12.6	n/a	0	n/a
4	San Gorgonio Pass Water Agency Recharge Area	8.9	n/a	0	n/a
5	Park	16.18	n/a	0	n/a
6	Middle School	20.0	n/a	0	n/a
9A	Park/Open Space	10.6 ²	n/a	0	n/a
9B	Park	10.8	n/a	0	n/a
--	Roads, Easements ³	30.7	n/a	0	n/a
TOTAL		332.28		648	1.3 (overall)

Source: Tahiti Group

Notes:

- 1 It is noted that this Planning Area was originally planned for residential uses, but is now planned for use as a San Gorgonio Pass Water Agency recharge area. The units originally associated with this Planning Area may be reallocated within the Specific Plan (subject to City review and approval), as long as the total number of units does not exceed 648.
- 2 Total park and open space area.
- 3 Includes arterial, major and secondary streets only.



1 = Planning Area



NOT TO SCALE

Source: Tahiti Group



Figure 2.2-1
Noble Creek Vistas Planning Areas

Planning Area 1

Planning Area 1 as depicted on Figure 2.2-2, provides for the development of 58.4 acres. The Noble Creek Storm Channel is adjacent to this planning area. Class II bike lanes will be provided on roadways adjacent to this planning area.

Primary access to this planning area will be provided from a major highway, Brookside Avenue. Secondary access will be provided from an additional driveway off Brookside Avenue and an existing collector roadway located on the west side of the planning area. A major entry statement is planned for the primary access, as well as roadway landscape treatments along the collector roadway.

Residential lots within Planning Area 1 will average 7,500 square feet, with minimum 6,000 square foot lots.

Lots backing up to Brookside Avenue will be a minimum of 10,000 square feet in size, while twenty-five (25) percent of these lots will be a minimum of 15,000 square feet in size. Fifty (50) percent of the homes adjacent to Brookside Avenue will be single story units.

Planning Area 2

Planning Area 2 is located at the northeastern corner of the Specific Plan area, along Brookside Avenue and Beaumont Avenue. This planning area will be used for water recharge through the San Gorgonio Pass Water Agency.

Planning Area 3

Planning Area 3 is located at the northwestern corner of the Specific Plan area, along Brookside Avenue and Oak View Drive. This planning area is developed with a 12.6 acre Elementary School. The site is owned by the Beaumont Unified School District. Planning Area 3 is illustrated in Figure 2.2-3.

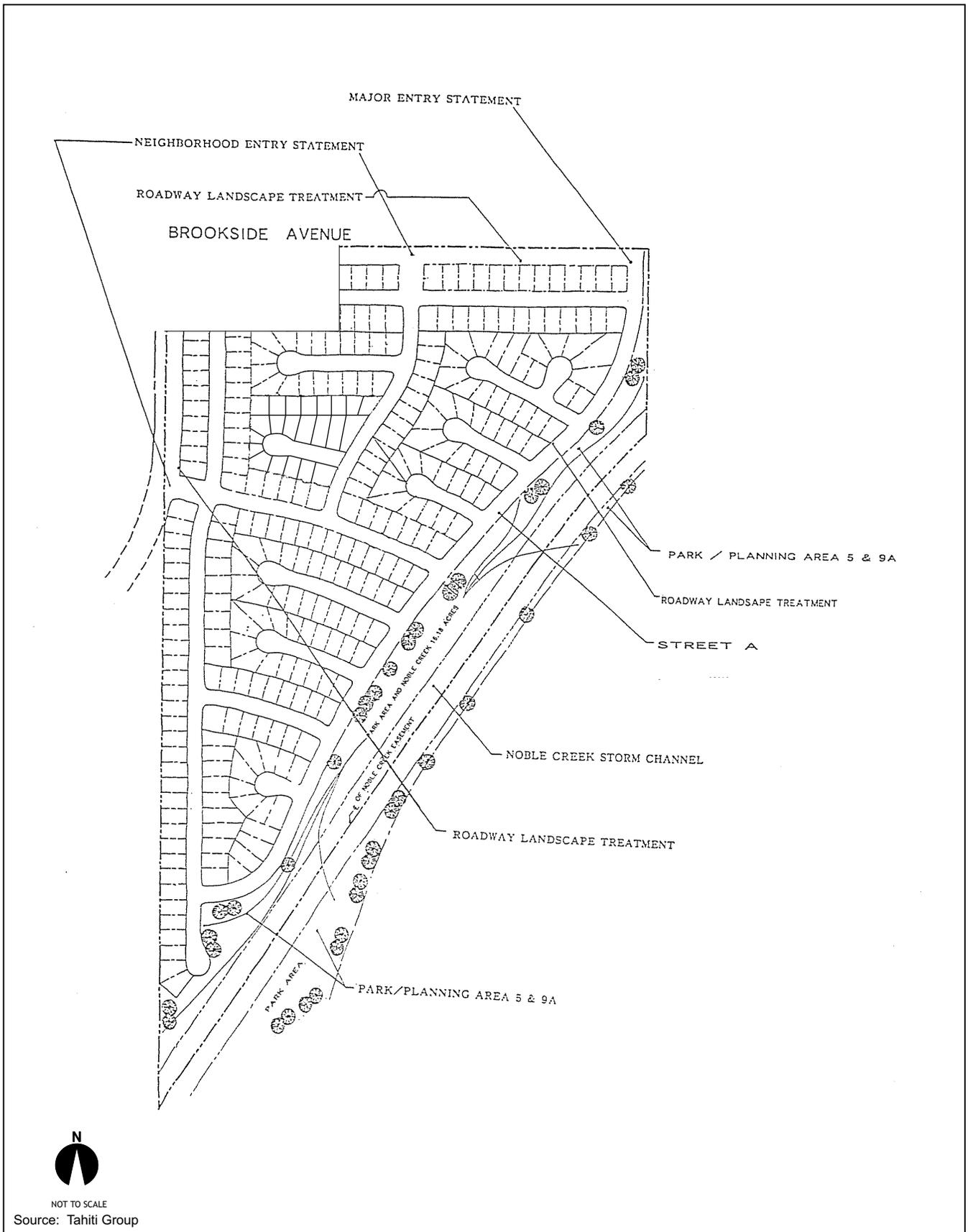
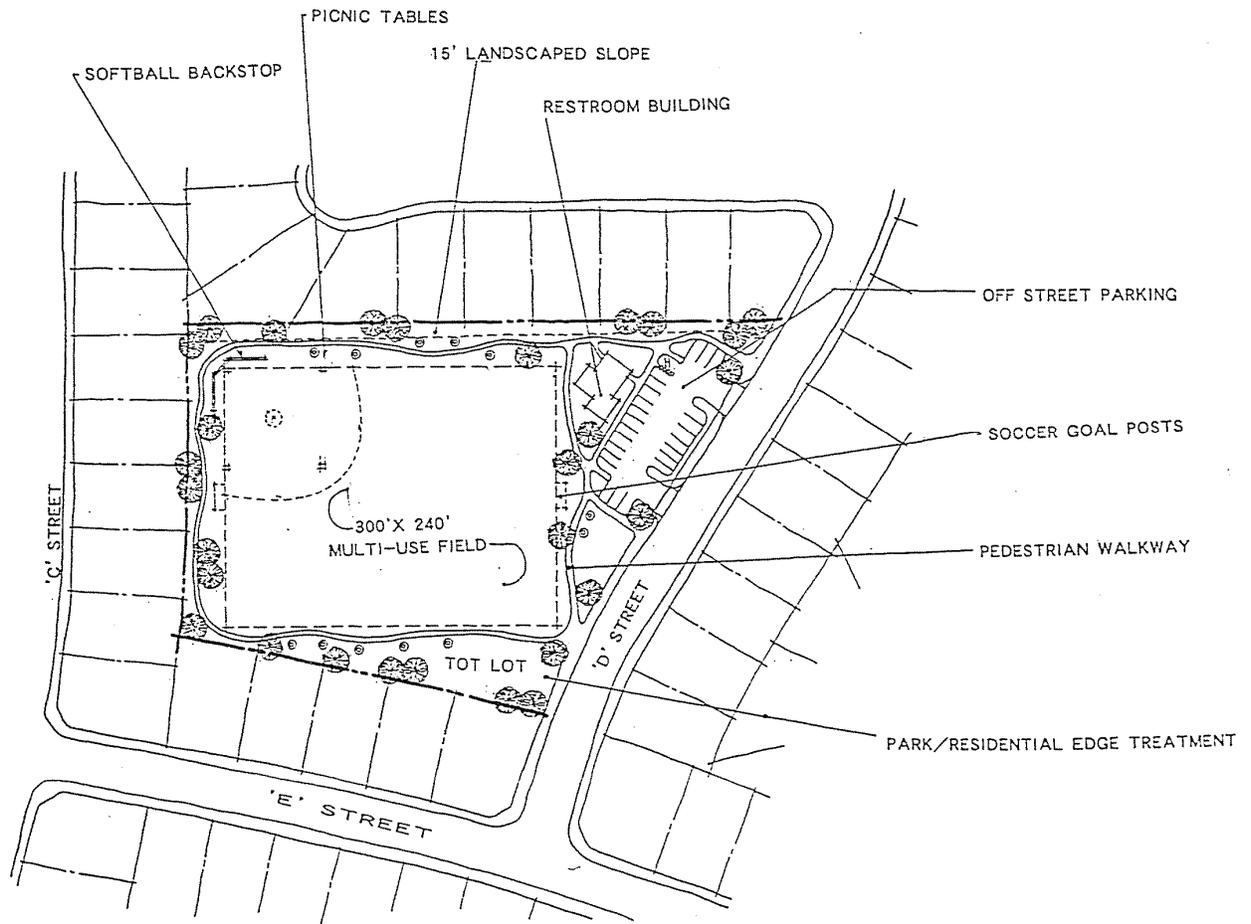


Figure 2.2-2
Planning Area 1





NOT TO SCALE

Source: Tahiti Group



Figure 2.2-3
Planning Area 3

Planning Area 4

Planning Area 4 is located along the northern boundary of the Specific Plan area, along Brookside Avenue. This planning area will be used for water recharge through the San Gorgonio Pass Water Agency.

Planning Area 5

Planning Area 5, as depicted in Figure 2.2-4, provides for the development of 16.18 acres as a neighborhood park.

Access to this planning area will be provided from local streets. A park/residential edge treatment is planned, to buffer the park and residential land uses, where applicable. A Class II bike lane will also be provided.

Recreational facilities planned for this park include combination pedestrian/bicycle path and par course.

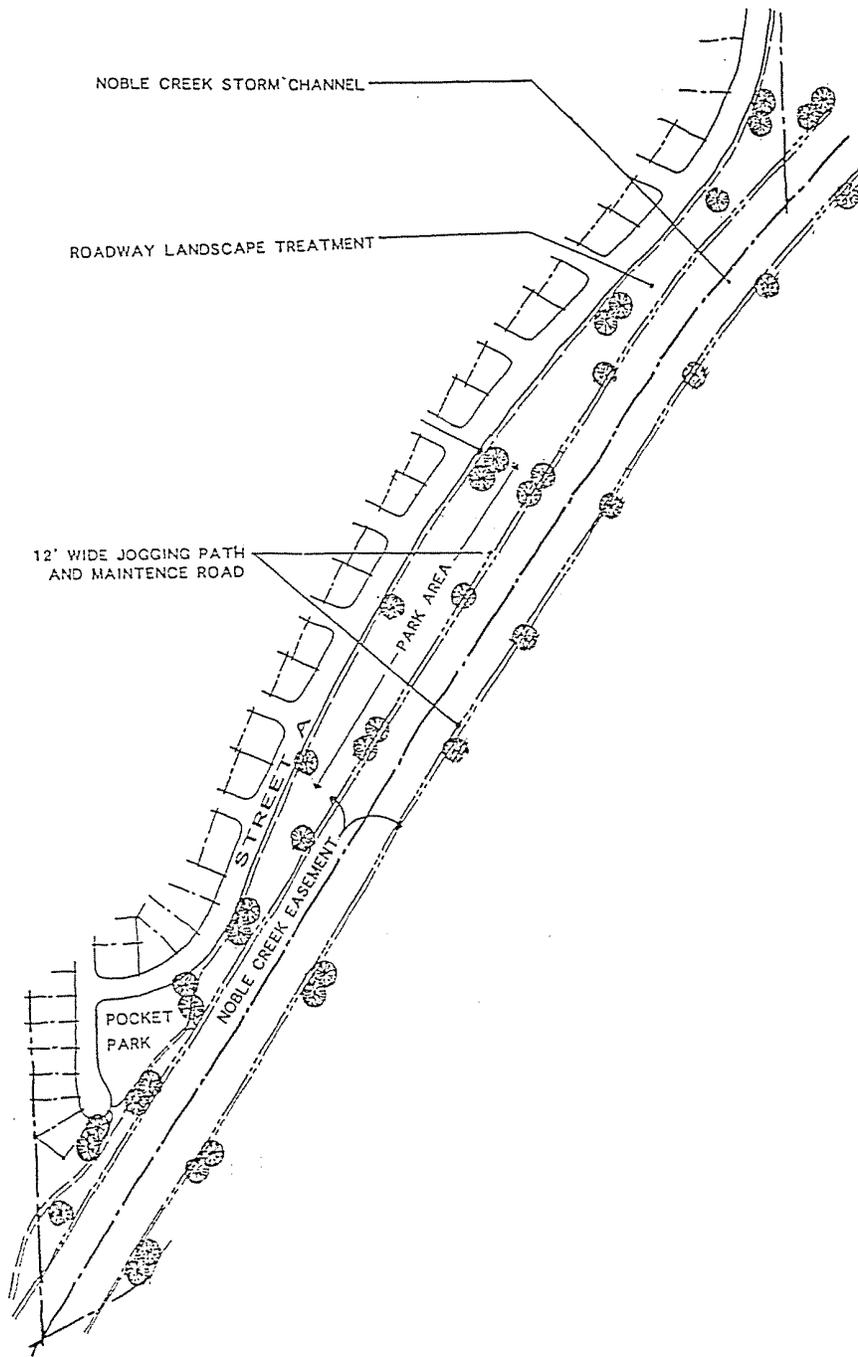
Planning Area 6

Planning Area 6 is located on the northwest corner of Beaumont Avenue and Cougar Way. This planning area is developed with a 20.0 acre middle school site. The site is owned by the Beaumont Unified School District. Figure 2.2-5 illustrates this planning area.

Planning Area 7

Planning Area 7 provides for the development of 25.14 acres of residential uses. This planning area is bordered on the south by Cougar Way, on the west by Noble Creek Storm Channel, and on the east by a collector roadway. Access will be provided by Cougar Way and the collector roadway, as shown in Figure 2.2-6.

Lots within this planning area will have an average size of 7,303 square feet. Eighty (80) dwelling units are planned within this planning area at a density of 3.18 du/ac.

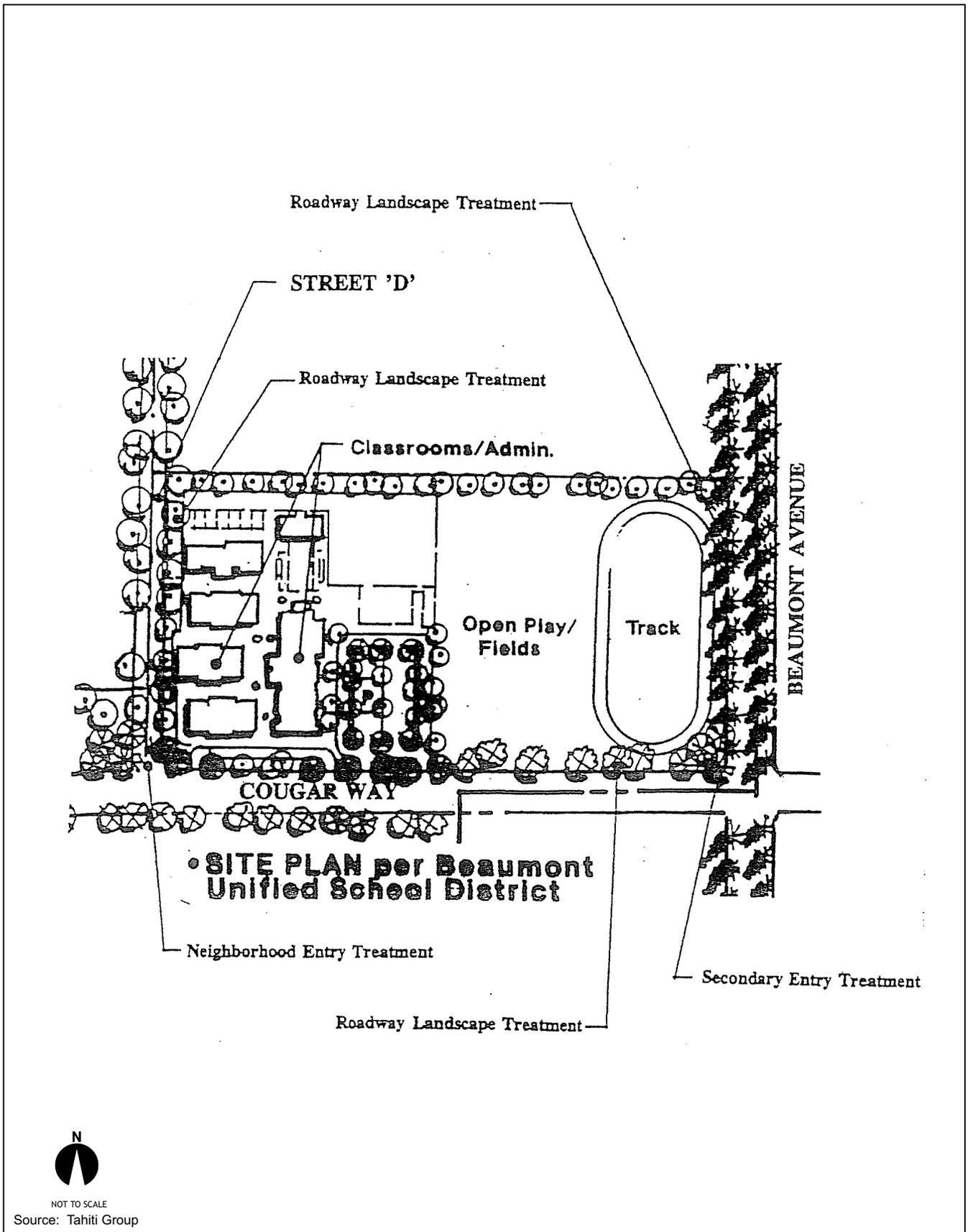


NOT TO SCALE

Source: Tahiti Group



Figure 2.2-4
Planning Area 5



NOT TO SCALE
Source: Tahiti Group



Figure 2.2-5
Planning Area 6



NOT TO SCALE

Source: Tahiti Group



Figure 2.2-6
Planning Area 7

Planning Area 8

One hundred twenty eight (128) residential dwelling units are planned within this 36.19 acre planning area. The total number of lots within the planning area will be an average size of 6,858 square feet, with 6,000 square foot minimums. Overall density for the planning area is 3.54 du/ac.

As illustrated in Figure 2.2-7, this planning area is located at the southeast corner of the intersection of Noble Creek Parkway and Cougar Way. Access will be provided from Noble Creek Parkway and Cougar Way.

Roadway landscape treatments will be provided along Noble Creek Parkway and Cougar Way. A park/residential edge treatment is planned, to buffer the park and residential land uses, where applicable. A Class II bike lane will also be provided.

Planning Area 9

Planning Area 9 is transected by Noble Creek Parkway, and as such has been split into Areas 9A and 9B, for ease of reference. These areas are presented in Figure 2.2-8.

Planning Area 9A is located on the west side of Noble Creek Parkway and provides for the development of 10.6 acres as a neighborhood park. Recreational facilities planned for this park include combination pedestrian/bicycle path, open play area, picnic tables and par course.

Planning Area 9B is located on the east side of Noble Creek Parkway and provides for the development of 10.8 acres as a neighborhood park. Recreational facilities planned for this park include open play areas, combination pedestrian/bicycle path, tot lot, and picnic tables.



NOT TO SCALE

Source: Tahiti Group



Figure 2.2-7
Planning Area 8

Planning Area 10

This 40-acre planning area is located on the southwest corner of Beaumont Avenue and Cougar Way. This planning area provides for the development of 68 residential dwelling units at a density of 1.7 du/ac.

Lots within this planning area will range from 7,000 to 15,000 square feet in size. Twenty-five (25) percent of the lots adjacent to Beaumont Avenue need to be a minimum of 15,000 square feet. Fifty (50) percent of the homes constructed adjacent to Beaumont Avenue need to be single story.

Figure 2.2-9 illustrates a conceptual design for this planning area.

Planning Area 11

Planning Area 11, as shown in Figure 2.2-10, is located on the northeast corner of Oak Valley Parkway and Noble Creek Parkway. This planning area encompasses 21.51 acres.

Planning Area 11 will contain 66 residential dwelling units with an average lot size of 8,192 square feet. Lots will be a minimum of 6,270 square feet. The overall density of the planning area is 3.07 du/ac.

Access to Planning Area 11 will be provided from Noble Creek Parkway. Roadway landscape treatments will be provided along Oak Valley Parkway and Noble Creek Parkway. A neighborhood entry is proposed west of the planning area, north of Oak Valley Parkway. A power easement edge treatment to buffer the park, power easement and residential land uses will also be provided, where applicable.

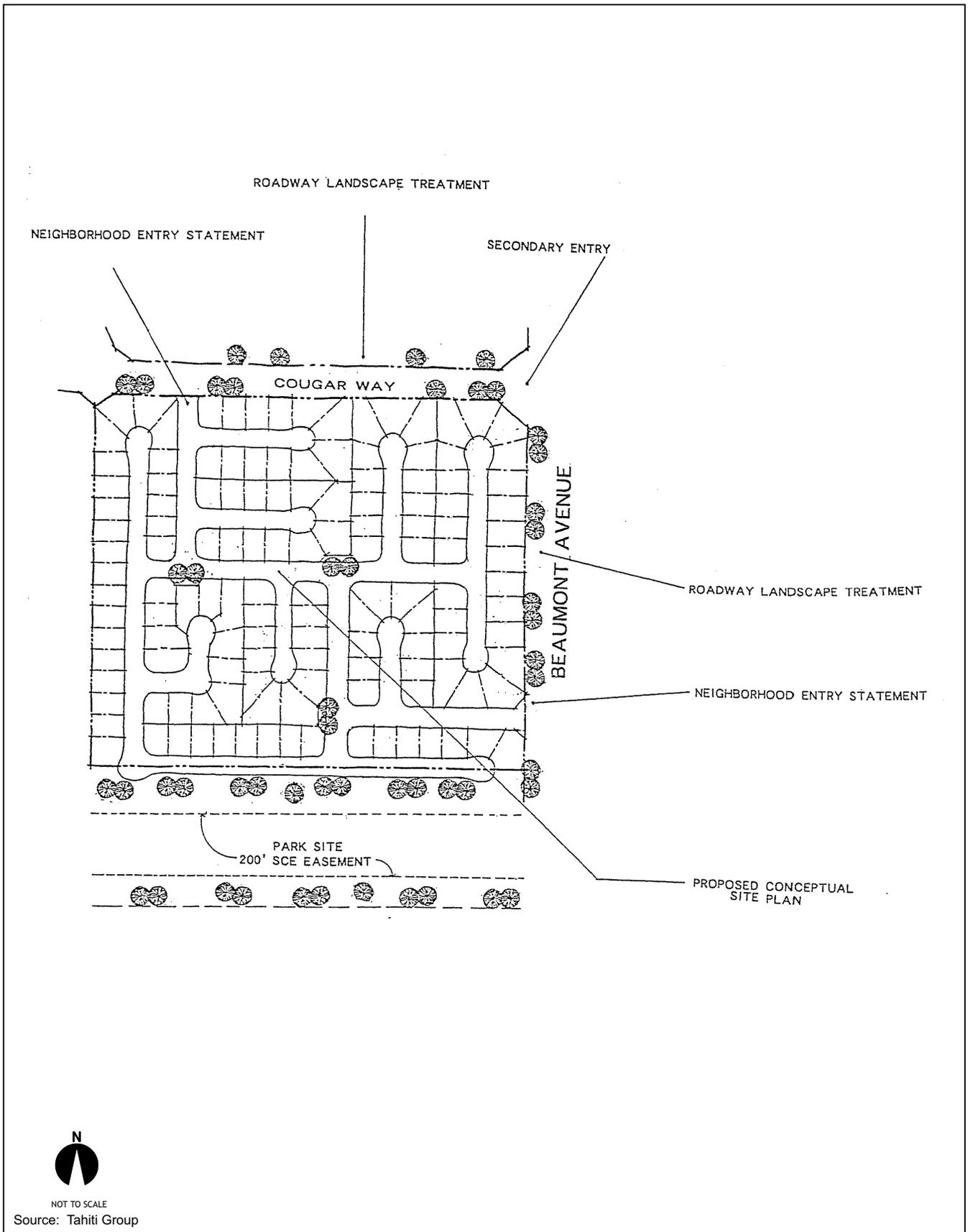


Figure 2.2-9
 Planning Area 10



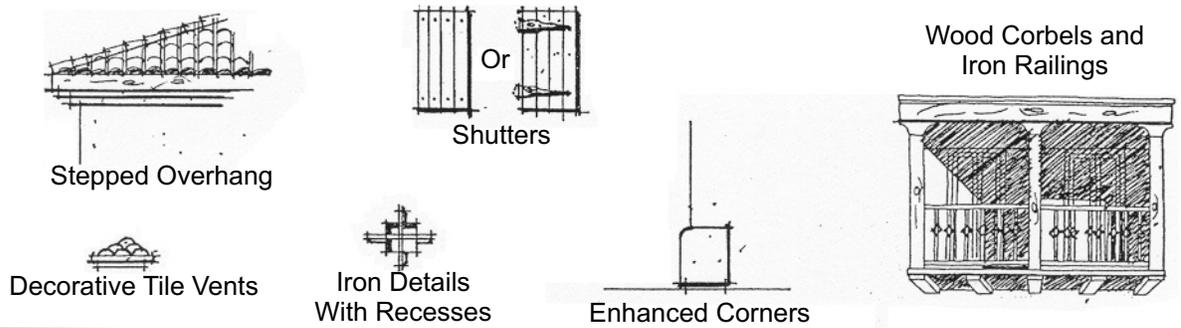
2.3 ARCHITECTURAL CONCEPTS

The architectural concepts for the Specific Plan area include substantial monolithic forms, deep-set openings, stucco and masonry walls, pitched tile roofs and light-subdued earthtone colors. Figure 2.3-1 illustrates these architectural details. Product prototypes are presented in Figure 2.3-2.

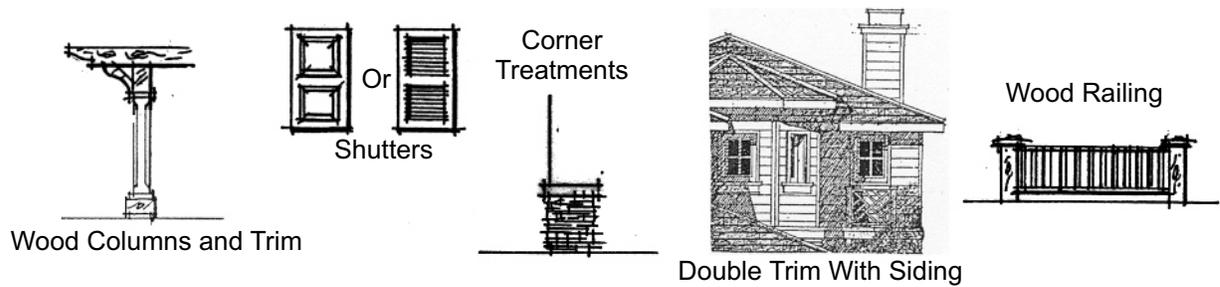
The main objective is to encourage quality architectural design, while permitting the developer/builder flexibility to design a residential neighborhood and neighborhood commercial centers with their own unique identity and design integrity. Specific objectives are as follows:

- To provide a variety of housing opportunities and lifestyles to the consumer, within a range of economic levels.
- To create a unified environment through cohesive relationships between architecture, landscape and site planning.
- To create architecture that expresses a strong relationship to the outdoor environment.
- To develop an appropriate residential scale for a traditional Southern California neighborhood.
- To establish a unifying theme which would give a strong identity to the community.
- To select neighborhood styles or sub-styles which encourage variation of materials, colors and architectural detail.
- To create high quality neighborhood commercial centers which are thoughtfully planned and compatible with surrounding neighborhoods and the local environment.
- To reduce any negative visual impact of large scale commercial buildings by encouraging tasteful and imaginative designs for individual buildings.

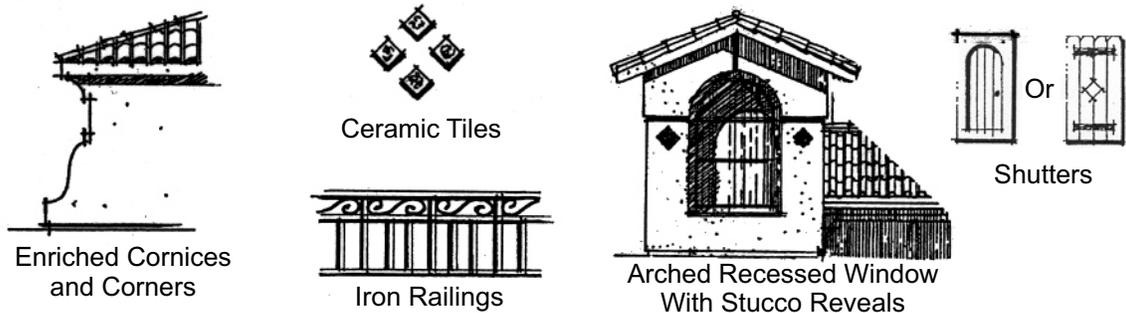
Southwest



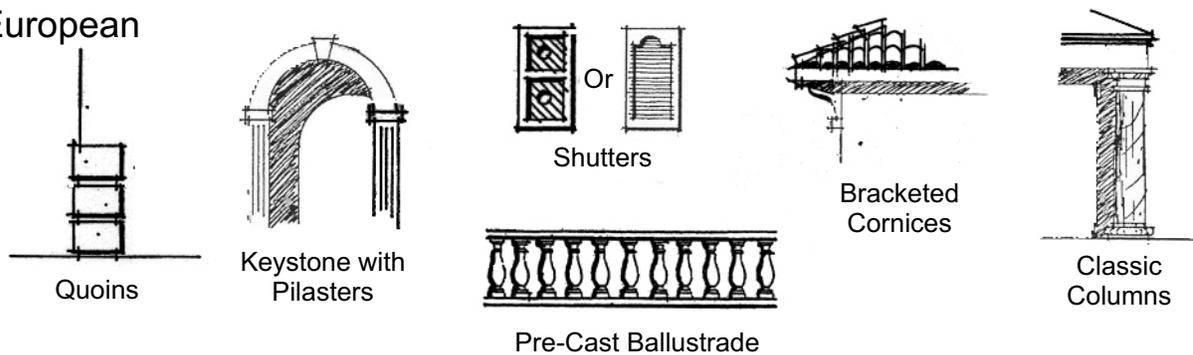
Traditional



Mediterranean



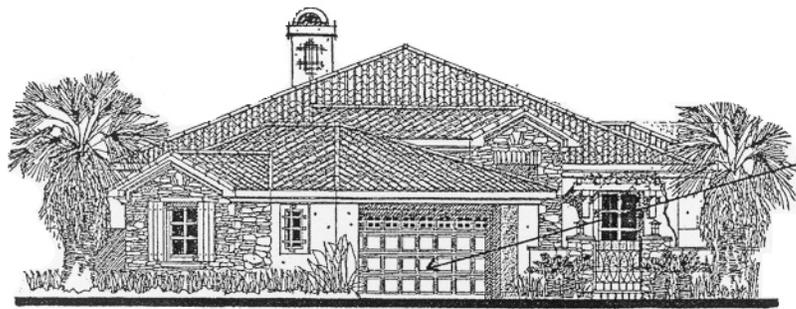
European



Source: Tahiti Group



Figure 2.3-1
Proposed Architectural Details



Asymmetrical Plans
As Appropriate To
Architectural Styles

Southwest

Divided Lights And
Window Groupings



Traditional

Motor Court With
Turn-In Garage



Mediterranean

Entrance
Courtyard

Details Consistent With
Architectural Character



European

Note:
This figure is not intended to
limit architectural expression,
but to illustrate that certain
character elements are more
strongly identified with specific
architectural themes.

Source: Tahiti Group



Figure 2.3-2
Proposed Residential Product Prototypes

2.3.1 Building Form, Mass and Scale

The architectural image and identity of the community will primarily be perceived from public spaces such as streets, parks and other open space areas. Building form, massing and scale are therefore primary design components which require careful articulation in their architectural expression to these public spaces. The visible side and rear elevations of residential units are important, depending upon the location and orientation of the home. Consideration will be given to the articulation of rear and side elevations viewed from public spaces by providing variations in roof forms. Interesting building form and massing should be achieved without superficial design elements.

2.3.2 Building Heights and Setbacks

In order to avoid monotonous street scenes in residential planning areas, repetitive floor plans should be alternately reversed and their roof expressions varied. Single-family residences should maintain low plate lines and profiles along street fronts and boundary edges. Front yard setbacks should be staggered. To soften the architectural edge at area boundaries, building heights shall maintain a low profile through a combination of one and two story elements and varied floor setbacks at second-stories. To lower the apparent height, second-story rooms may be tucked into roof planes and roofs may be clipped at the sides and comers of the buildings. Building height and setback requirements shall conform to the Development Standards as set forth in Section 3 of this Specific Plan.

2.3.3 Roof Forms and Materials

Roof forms are a highly visible community feature. A range of roof forms and pitches should be utilized to add an appealing visual impact to the community/streetscape. Simple pitched gable, hip or shed roof forms will be the predominant roof elements in Noble Creek. Roof projections and overhangs are encouraged as response to energy and climate concerns. Low maintenance details limiting the amount of exposed wood are encouraged. All pitched roofs shall be tile or equivalent. All flat roof areas, when utilized, shall require a gravel surface of earthtone color or similar uniform coverage treatment.

2.3.4 Exterior Materials and Color

Exterior building materials shall be of natural materials which are compatible with and reflect the elements of the surrounding environment. This includes wood, masonry, stone, concrete and stucco. Exposed wood sheathing shall be limited to the underside of roofs or patio decks. The simple use of tile, brick, stone, masonry or pre-cast concrete are permitted as design accents and trim. Exterior stucco shall be utilized as the primary wall material and shall have a smooth, sand or other light finish texture.

Color is intended as a primary theme element. The value should generally be light earthtones, with darker or lighter accents to highlight the character of the structure; particularly in respect to balcony railings, fascias, awnings, inlaid tile bands and cornice bands. Complementary accent materials and colors are allowed and encouraged. All accents must relate to the architectural form and character of the building. Wood trim shall be stained with semitransparent stain or painted as accents.

2.4 - RECREATION PLAN

Each increment/phase of development within the Noble Creek Vistas Specific Plan will be required to meet the prevailing City of Beaumont requirements regarding dedication and improvement of park facilities. The City's standard provides for five acres of fully improved and usable park space for every 1,000 residents.

It is also recognized that the Specific Plan Area is comprised of multiple ownership and park facilities proposed within the Specific Plan are not proportionally assigned to the respective ownership entities.

As a result, the design, development and maintenance of park facilities may be accomplished by the City through its Community Facilities District and funded by the landowners and ultimate occupants of the project. As an alternative, each increment of development may demonstrate self-sufficiency in terms of meeting park requirements.

A major focal element of the Noble Creek Vistas community is the recreation program. The program is extensive and provides a wide array of recreational opportunities in which all members of the community can participate. Opportunities vary from passive (i.e. bike lanes), to active (i.e. neighborhood parks), to potentially structured (i.e. recreational programs which could be offered at the schools). Varying types and degrees of activities will be available which will provide residents the opportunity to “take quiet walks in the park”; participate in active outdoor informal recreational activities; and participate in potentially structured, organized and instructed sporting or exercise events. The various elements of the program are presented in Figure 2.4-1, “Recreation Plan” and discussed below.

2.4.1 Neighborhood Parks

Three neighborhood parks are planned in Noble Creek Vistas (Planning Areas 5, 9a and 9b) at strategic locations throughout the site.

All of the parks are moderate in size, and, as such, will function to serve nearby neighborhood residents. It is proposed that the parks will be constructed by the developer, then dedicated to a homeowners association or community facilities district for ownership and maintenance. Facilities will vary from park to park, but may include the following: picnic areas, tot lots, open play areas, combination pedestrian/bicycle paths, ball fields, on-site parking, barbecue pits, linear restroom facilities and par course.

The pedestrian/bike paths, designed as passive use within the Noble Creek Storm Channel will interconnect the park within Planning Area 5, and the surrounding neighborhood. Planning Area 9a will also be designed for passive use along the Noble Creek Storm Channel.

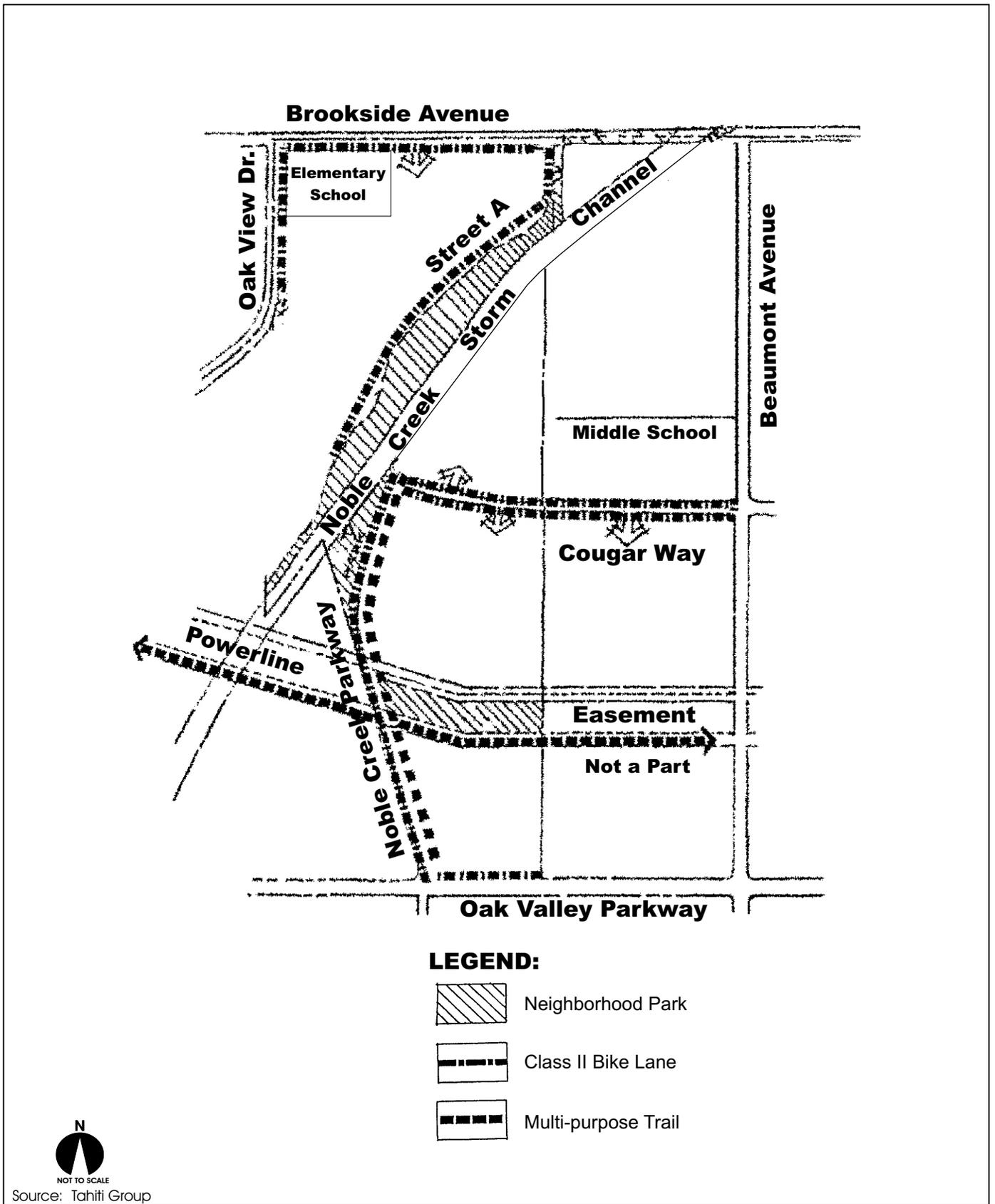


Figure 2.4-1
Recreation Plan

2.4.2 Bike Lanes

Class II bike lanes will be provided on Oak Valley Parkway, Oak View Drive, Cougar Way, Brookside Avenue and some interior collector level streets. A Class II bike lane consists of a painted bike lane within the street R.O.W. Additional bike trails are anticipated to be constructed along the Noble Creek Storm Channel.

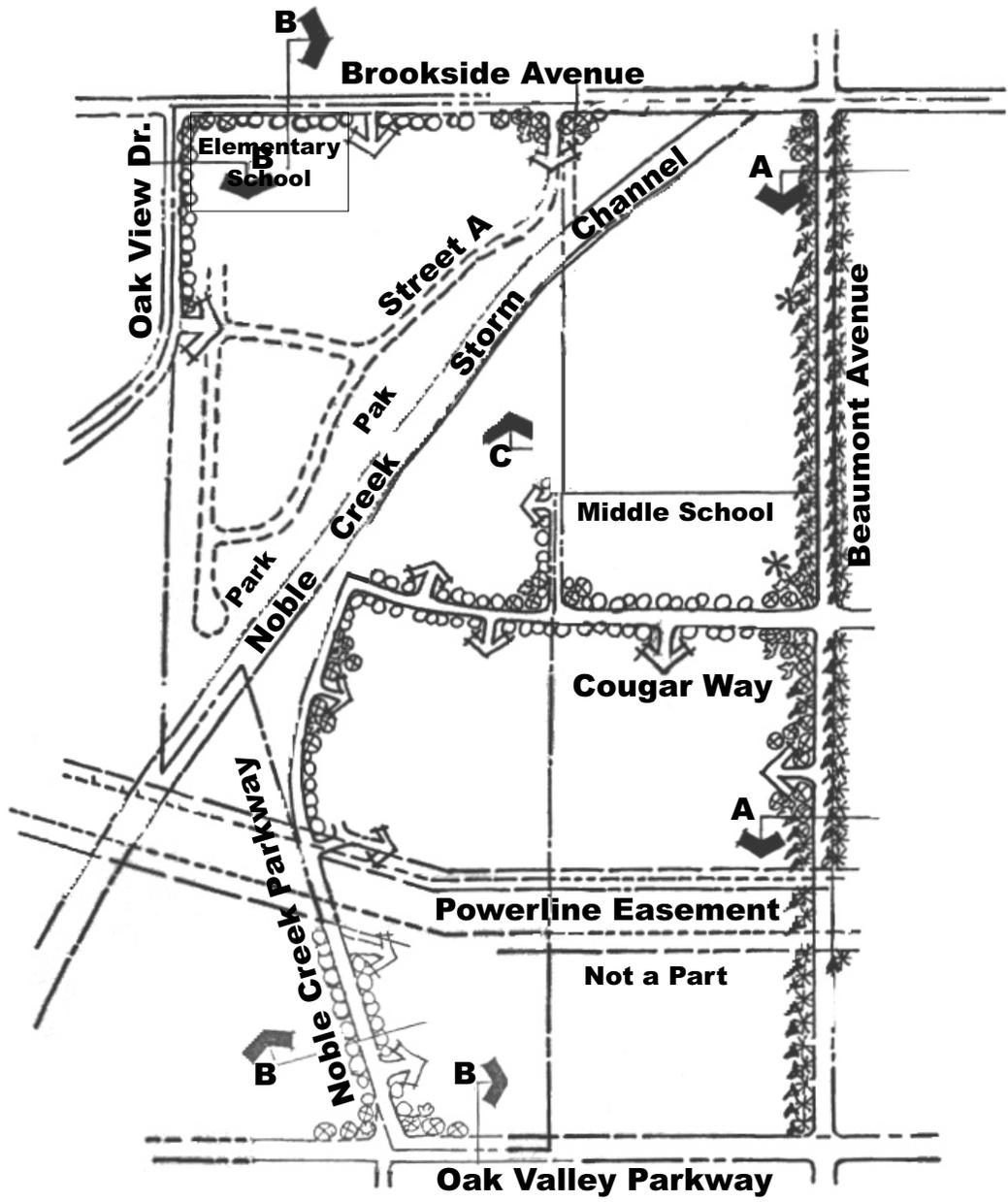
2.4.3 Multi-purpose Trails

A multi-purpose trail will be provided adjacent to the powerline easement. The multi-purpose trail will be dedicated to the City's community facilities district for maintenance and ownership responsibilities.

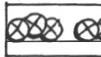
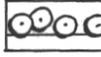
2.5 - LANDSCAPING AND COMMUNITY ELEMENTS PLAN

2.5.1 Landscaping

The landscape design of Noble Creek Vistas will be an important element in establishing the overall community image. The primary goal is to establish a distinctive character by using xeriscape principles. Low water use plant material has been selected to fulfill all functional and aesthetic requirements of this master planned community. Drought-tolerant plants are acclimated to weather soil conditions of the area and, therefore, have a higher success rate and require less maintenance. Xeriscape implies not only the creative use of low water consuming plants but efficient irrigation systems, appropriate soil amendments and low maintenance. The Conceptual Landscape Plan is presented in Figure 2.5-1.



LEGEND:

- | | | | |
|---|------------------------|---|------------------------------|
|  | Entry Accent Trees |  | Major Collector Theme Trees |
|  | Existing Deodar Trees |  | Evergreen Canopy Theme Trees |
|  | Relocated Deodar Trees |  | Primary Street Theme Trees |



NOT TO SCALE

Source: Tahiti Group



Figure 2.5-1
Landscape Plan

Plant materials will be used to reinforce the circulation hierarchy and establish a sense of place to the residents of this community. This will be accomplished through the establishment of design themes for the major streets and entryways and adherence to a plant list that will unify the entire site. In general, an informal theme will be used.

The existing Deodar Cedars along Beaumont Avenue however, make a more formal statement because they have been planted on a regimented interval. These trees which are very drought tolerant once established will be saved to preserve their cultural heritage. The landscape design will transition to a more informal character internally. To this end, the project design proposes a 40 foot landscape buffer from the western edge of Beaumont Avenue right-of-way to the project boundary, with a berm along the project wall, and a meandering sidewalk within the landscape buffer.

The project design also incorporates a permeable surface in a 25 foot radius around the Deodar trees (except in those areas on the street side in which there will be a distance of less than 25 feet to the street).

Other landscape design features include a landscape buffer along the southern edge of Brookside Avenue right-of-way to the southern boundary. The width of the buffer is 38 feet. There is also a landscape buffer along the southern edge of Noble Creek Parkway. The width will range from 18 to 38 feet to accommodate Noble Creek as it crosses Brookside Avenue.

Plant Palette

All builders will be required to choose plants listed in Attachment A of the *County of Riverside Guide to California Friendly Landscaping* for landscaping of their lots/parcels.

All landscape and irrigation shall be designed to promote ease of maintenance. Plant material size and form should be appropriate for its function to minimize the need for pruning. Plant spacing should reflect mature size requirements to avoid overcrowding. Irrigation for trees, shrubs and ground covers should be a “hard line” drip system. The

irrigation controllers should have the capability of long watering times to accommodate a drip system.

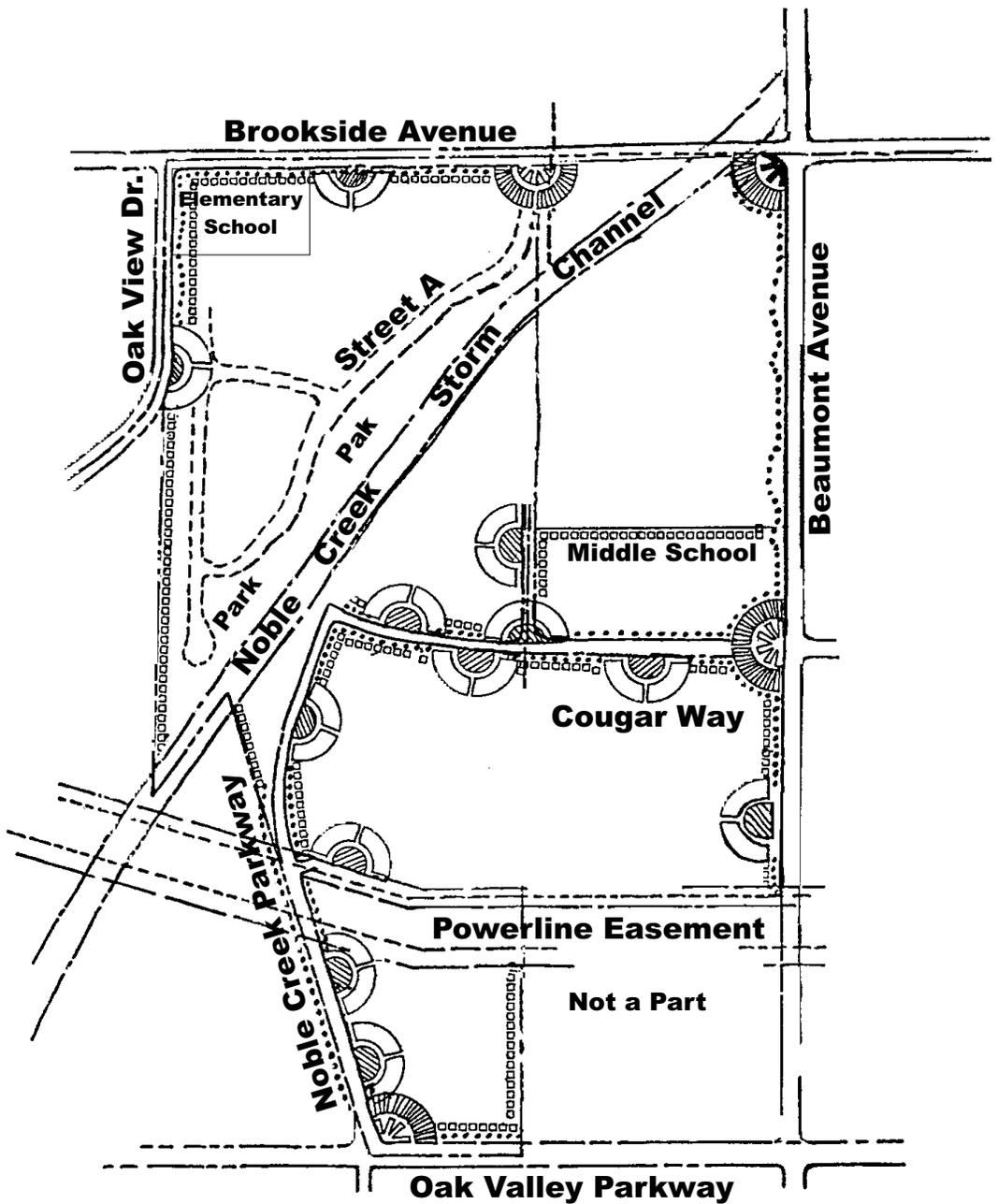
Irrigation backflow prevention devices and controllers shall be located with minimum public visibility or shall be screened with appropriate plant materials.

Homeowners will be encouraged to select plant material from the plant palette identified in this Specific Plan. Covenants Conditions and Restrictions shall be prepared and recorded for each lot which require that all yard areas shall be planted, that hardscape be limited to 50 percent of yard area and that all plant material be maintained in a healthy condition.

2.5.2 Streetscape

Landscape development zones have been established which will provide a total of 20 feet from face of curb to the subdivision theme wall on major and secondary roadways. These large landscaped areas provide additional buffers to the internal land use and establish a community theme. Collector level streets will receive landscape treatment between the sidewalk and community wall.

The location of subdivision theme walls, primary pedestrian sidewalks and entry monumentation are presented in Figure 2.5-2, "Conceptual Hardscape Plan." Figures 2.5-3 through 2.5-6 present other various streetscape features of the project.



LEGEND:

- | | | | |
|---|--------------------|---|----------------------------|
|  | Major Entry |  | 6' Subdivision Theme Wall |
|  | Secondary Entry |  | 6' View Wall |
|  | Neighborhood Entry |  | Primary Street Theme Trees |

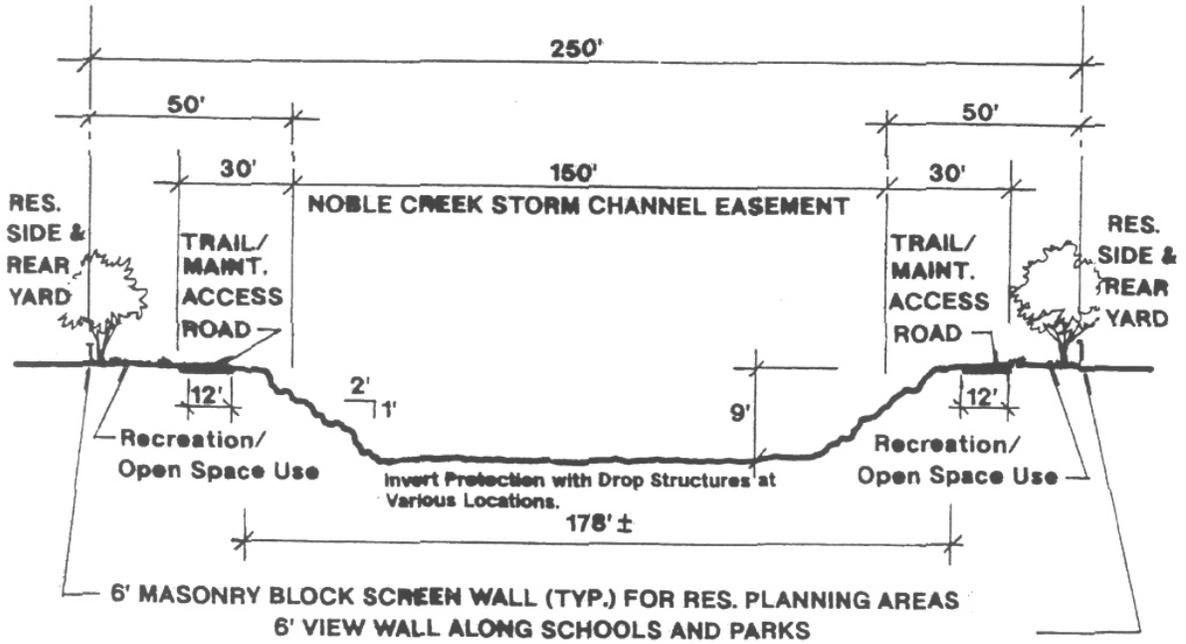


NOT TO SCALE

Source: Tahiti Group



Figure 2.5-2
Hardscape Plan

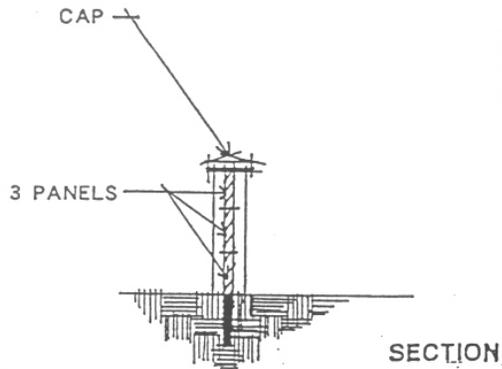


Note: This cross-section is conceptual. Other land use such as parks and schools do occur along this drainage corridor.

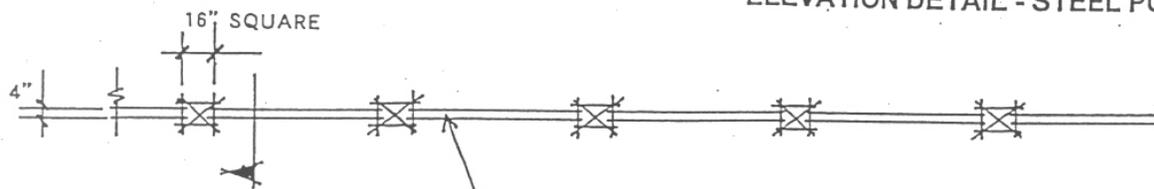
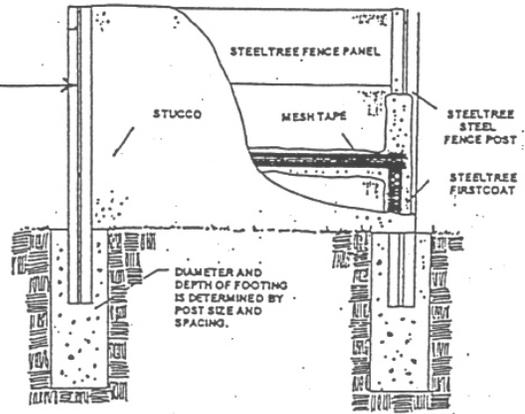
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Source: Tahiti Group



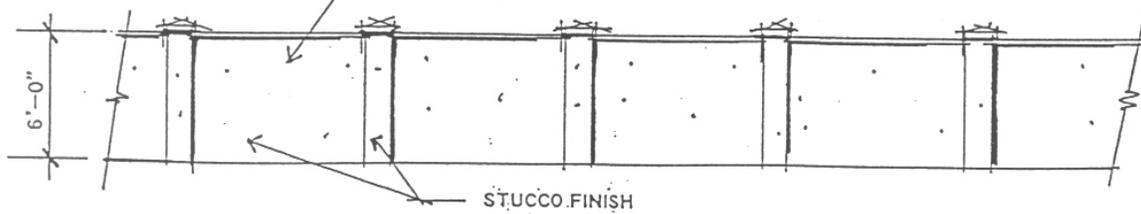
Figure 2.5-3
Drainage Corridor



Attach Panels to Steeltree post with #10 self-drilling screws



2' X 10' X 4" THK. - STEELTREE FOAM PANELS

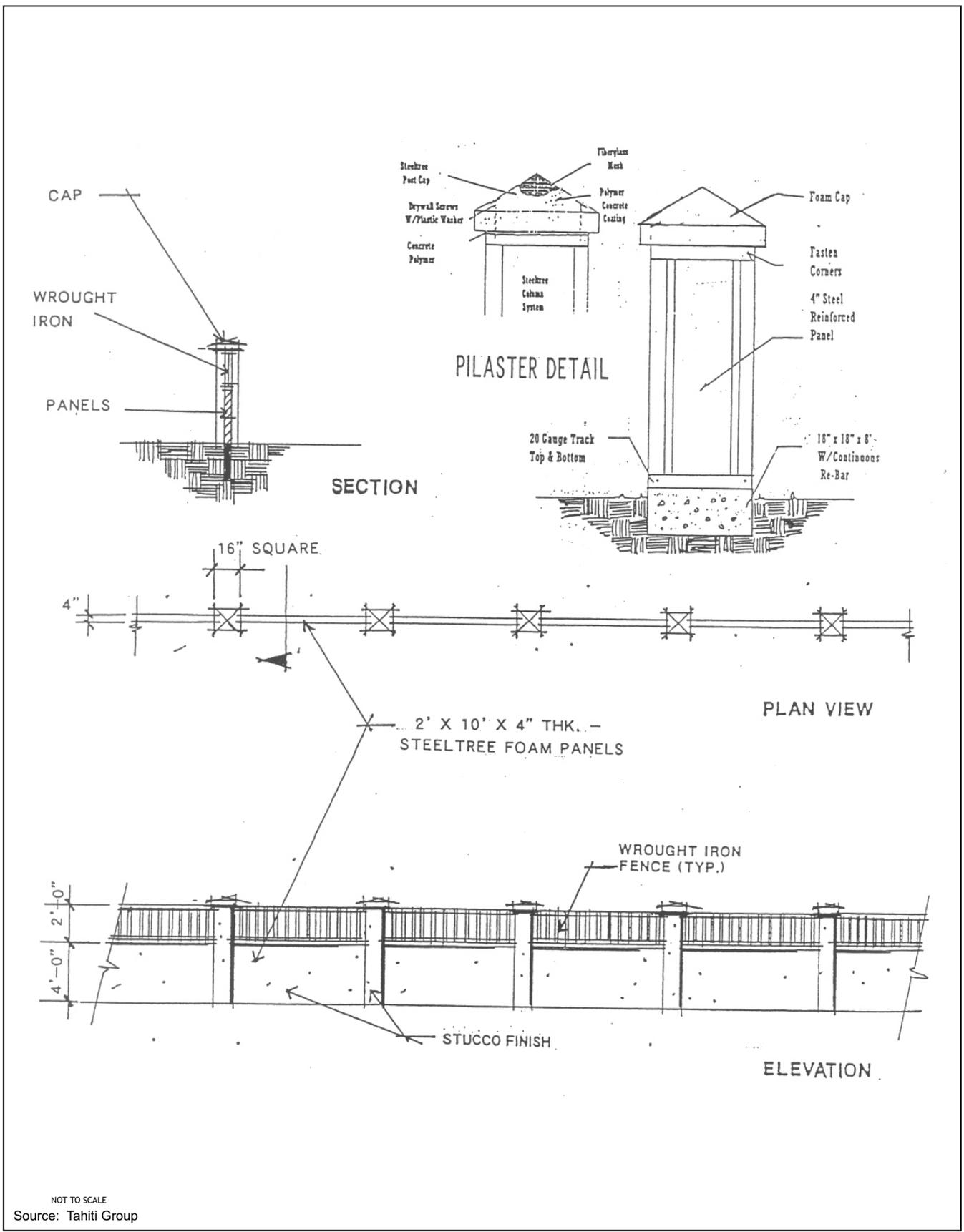


NOTE: COLUMNS SPACED 10' O.C. ON ALL SUBDIVISION WALLS

NOT TO SCALE
Source: Tahiti Group



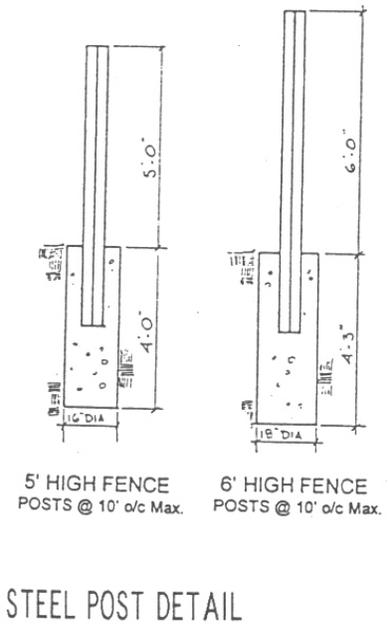
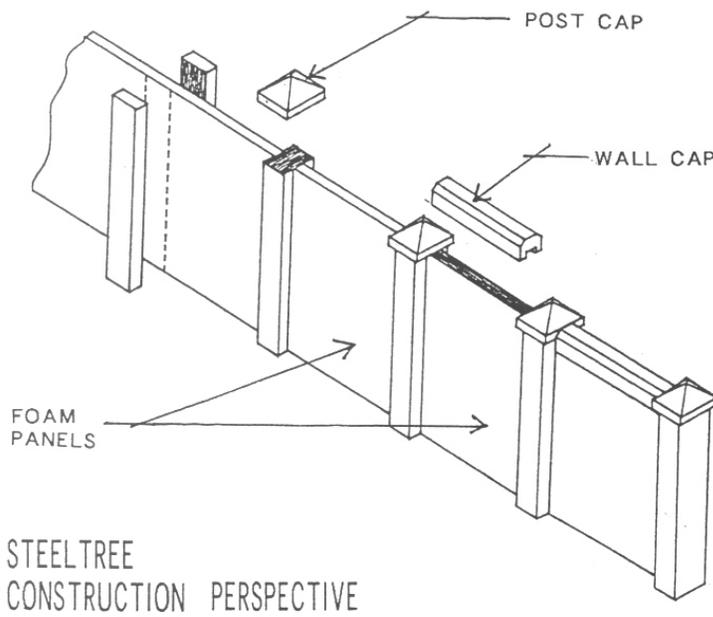
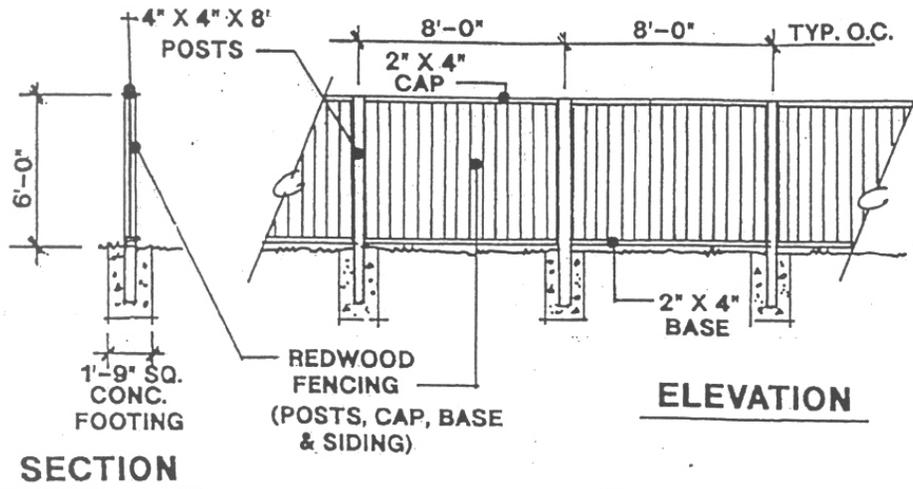
Figure 2.5-4
Subdivision Theme Wall



NOT TO SCALE
 Source: Tahiti Group



Figure 2.5-5
 View Wall



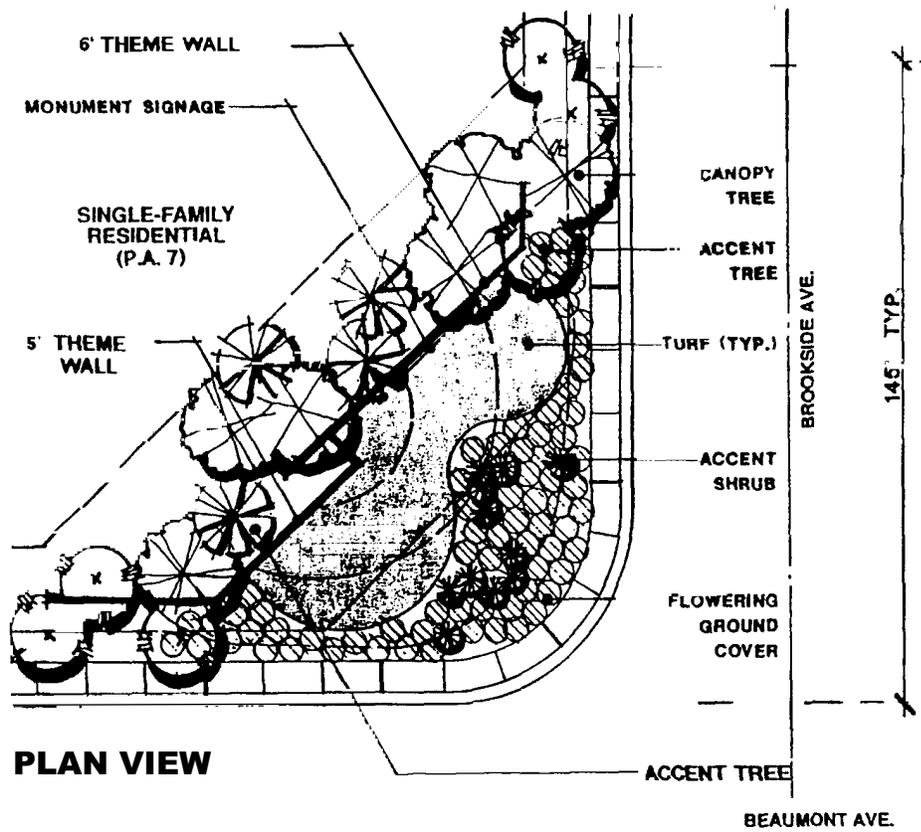
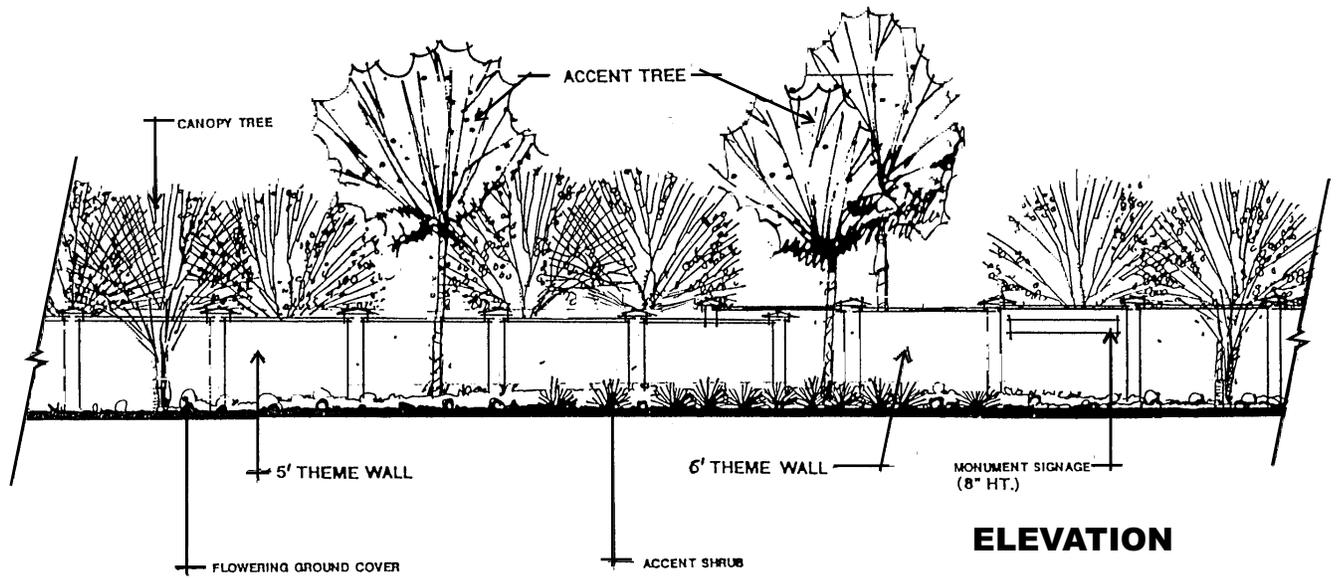
NOT TO SCALE
Source: Tahiti Group



Figure 2.5-6
In-Tract Fencing

2.5.3 Entry Monuments

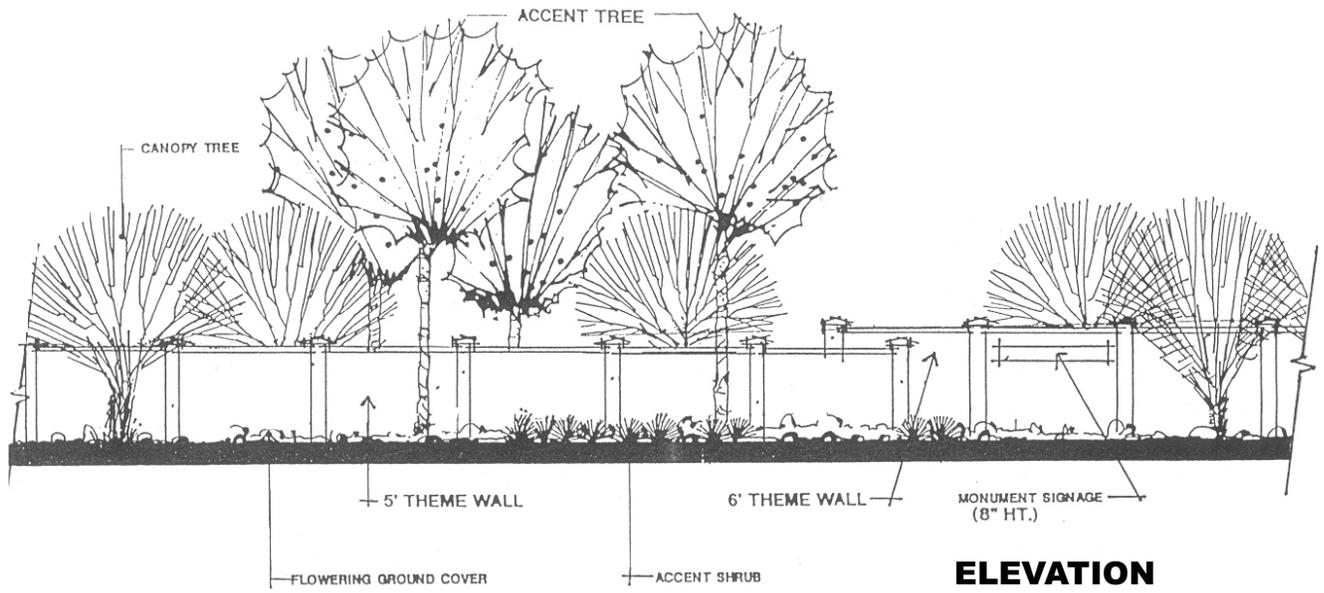
The major project entry will occur at the intersection of Beaumont Avenue and Brookside Avenue. Entry monumentation will provide the initial opportunity to portray the quality community image of Noble Creek. The theme wall used throughout the community will be enhanced as an entry feature providing the opportunity for signage. The major entry will establish the theme for the secondary and neighborhood entries, which will reflect the same character on a smaller scale. Figures 2.5-7 through 2.5-9 illustrate the various categories of entry treatments for Noble Creek. Plant materials will enforce the hardscape design and provide a variety of colors and textures for seasonal interest. A judicious use of turf will highlight the major entry statement. Entry monuments will be maintained by a Landscape and Lighting District, Homeowners Association or Community Facilities District, which shall assume maintenance and ownership responsibilities. The location of the monuments can be found on Figure 2.5-2, Conceptual Hardscape Plan and on the Planning Area Graphics, Figures 2.2-2 through 2.2-10.



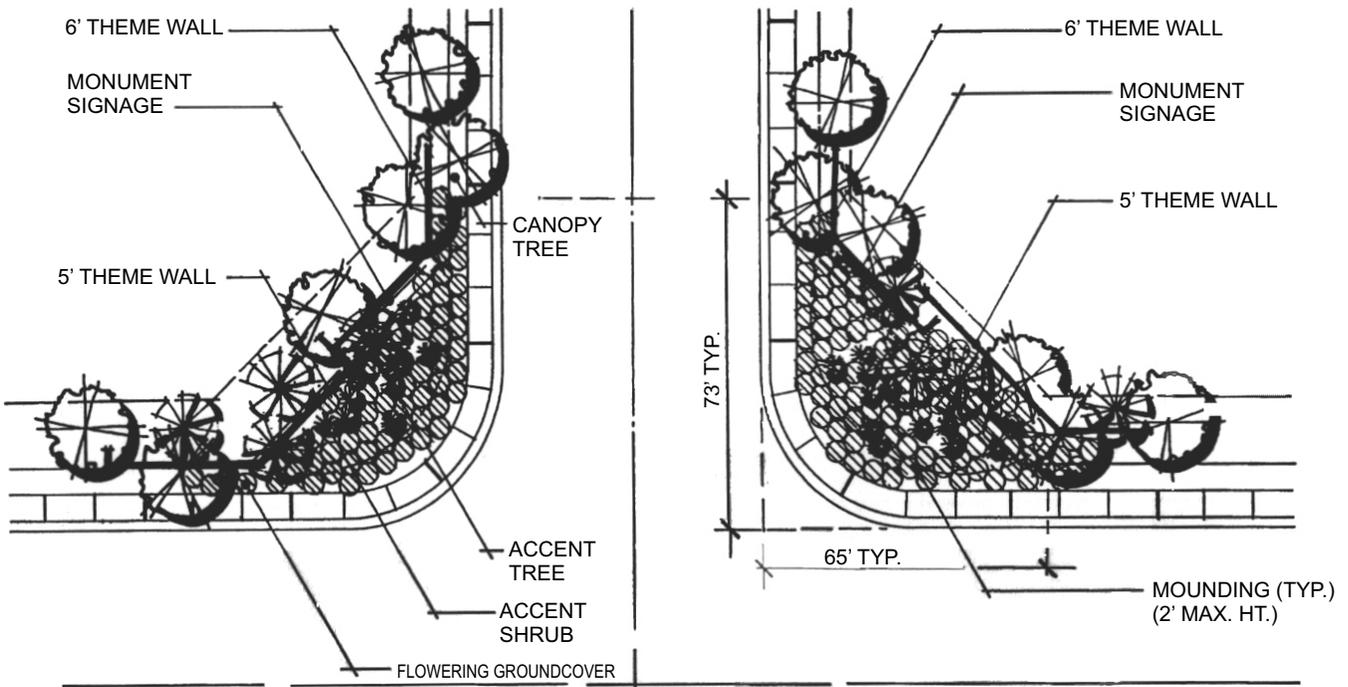
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Source: Tahiti Group



Figure 2.5-7
Major Entry Statement



ELEVATION

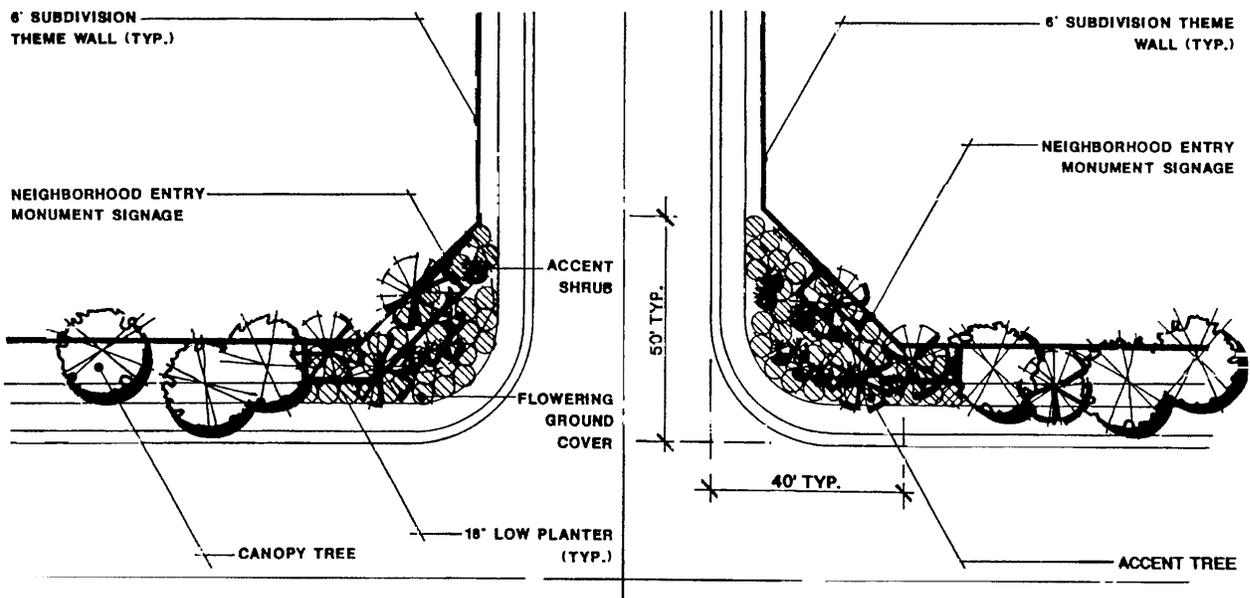
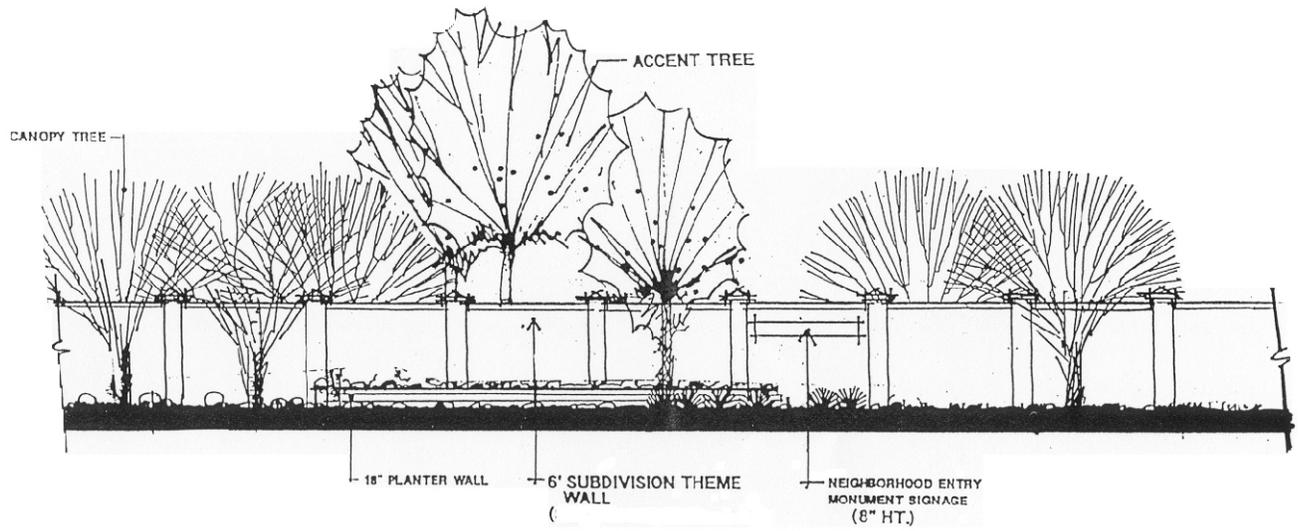


PLAN VIEW

NOT TO SCALE
Source: Tahiti Group



Figure 2.5-8
Secondary Entry Statement



NOT TO SCALE
Source: Tahiti Group



Figure 2.5-9
Neighborhood Entry Statement

2.6 - CIRCULATION PLAN

Principal north/south roadway access to the site is provided by Beaumont Avenue, which is an existing roadway, classified as a Major Highway - 156' R.O.W. It should be noted that the improvements to Beaumont Avenue north of Oak Valley Parkway are intended to avoid the existing rows of Deodar Cedar trees which line both sides of the roadway beginning approximately one quarter mile north of Oak Valley Parkway. The Deodar Cedar trees are considered a significant aesthetic resource and their preservation is encouraged within the Specific Plan standards. Existing Deodar Cedars along Beaumont Avenue will be retained. Removal of any trees will be limited to improvements at Cougar Way and Beaumont Avenue. Consequently, Beaumont Avenue is proposed to be improved from its current two-lane undivided status to a primary highway from Brookside Avenue to south of Oak Valley Parkway. This will be accomplished through a modified street section wherein the west side of Beaumont Avenue will be improved with a 78' half section on the west side of the roadway. This will include 39' of right-of-way and 28' of pavement from the centerline to the curb. A 40' open space buffer will be developed between the right of way line and the rear property lines of the proposed residential units. The cross section is presented in Figure 2.6-3.

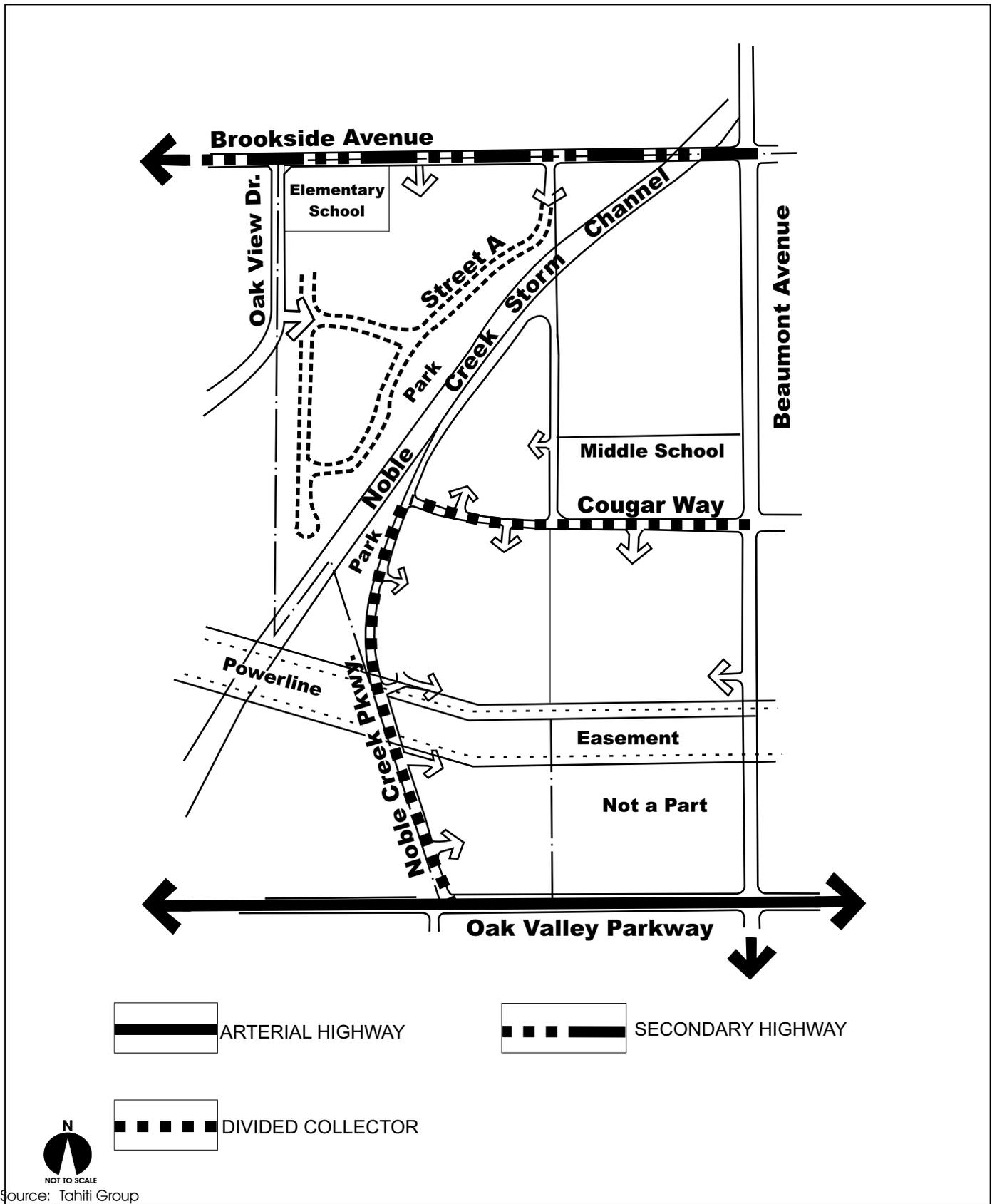


Figure 2.6-1
Circulation Plan

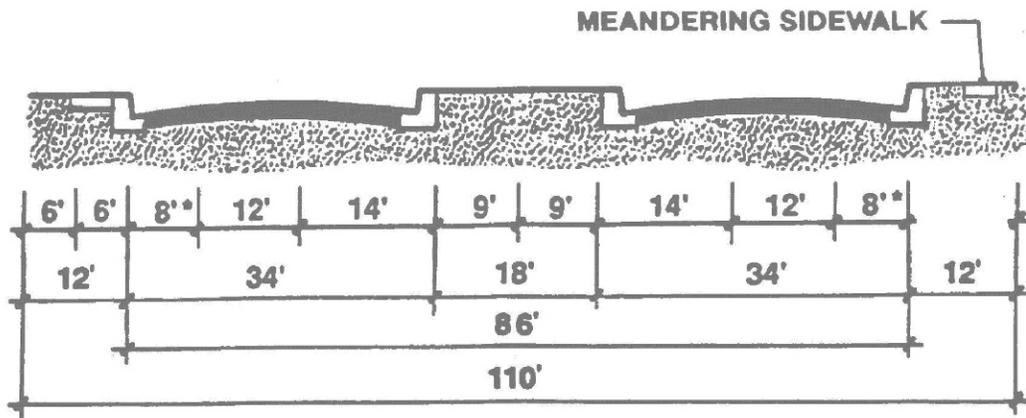


Similarly, Brookside Avenue adjacent to the Project Site will be developed with a modified half section. This section will include 44' of right-of-way including 32' of pavement as measured from the centerline to the curb. Beyond the right-of-way a landscaped parkway measuring between 18' to 38' will be developed adjacent to the rear property lines.

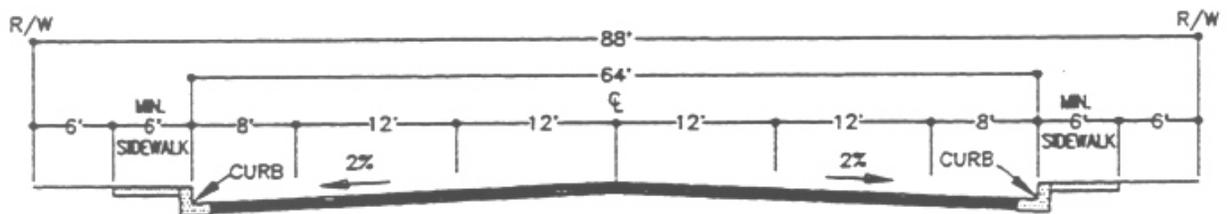
Noble Creek Parkway will be developed as a 78' right-of-way with 56' of pavement and 11' parkways. Noble Creek Parkway will also include an additional 19' landscape buffer area on the eastside of the street.

Three separate roadways provide east/west access, two of which have interchange access with the San Bernardino (10) Freeway. The roadway is Oak Valley Parkway, an Arterial Highway - 110' R.O.W. The second east/west access road is Brookside Avenue, which is classified as a Secondary - 100' R.O.W. The third east/west access to the Specific Plan is available through Cherry Valley Boulevard, which is classified as a Major Highway - 100' R.O.W. Cherry Valley Boulevard is located to the north of the site but is not a contiguous part of Noble Creek Vistas Specific Plan.

A network of roadways accommodates on-site circulation efficiently. Each roadway's location and size is designed to facilitate the efficient movement of traffic throughout the site. Local street layout will be determined at the tract map stage in conjunction with each planning area it is associated with. The main objective of the circulation plan is to provide direct, and convenient access to individual residential clusters, commercial centers, recreation areas, and institutional facilities through a safe and efficient system of collector and local roadways, and a pedestrian sidewalk system. Roadway crosssections are shown on Figures 2.6-2 and 2.6-3.



ARTERIAL HIGHWAY
 (Oak Valley Parkway)
 *Class II Bike Lane within Right-Of-Way



SECONDARY HIGHWAY
 (Brookside Avenue)

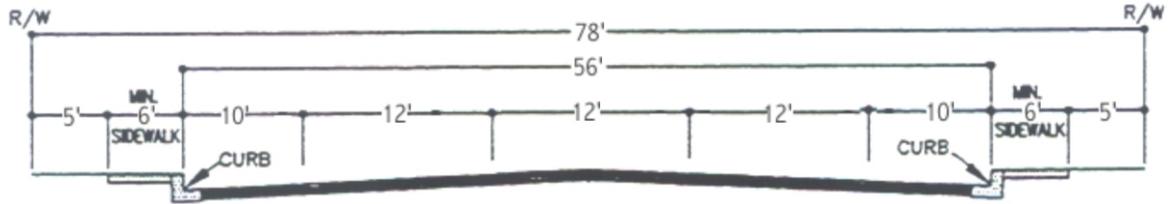


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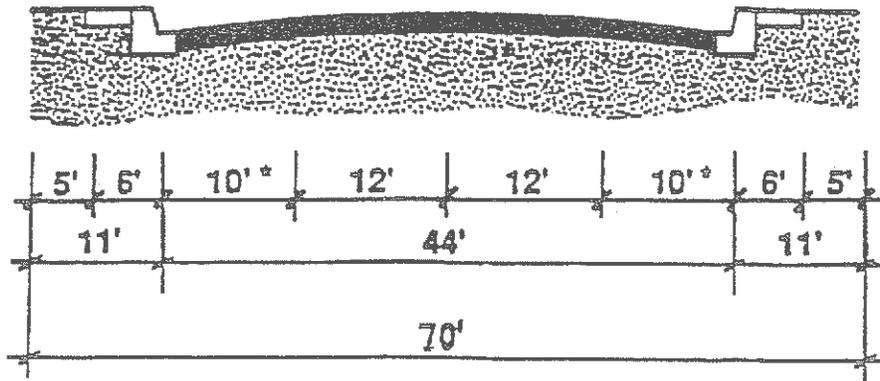
Source: Kunzman Associates



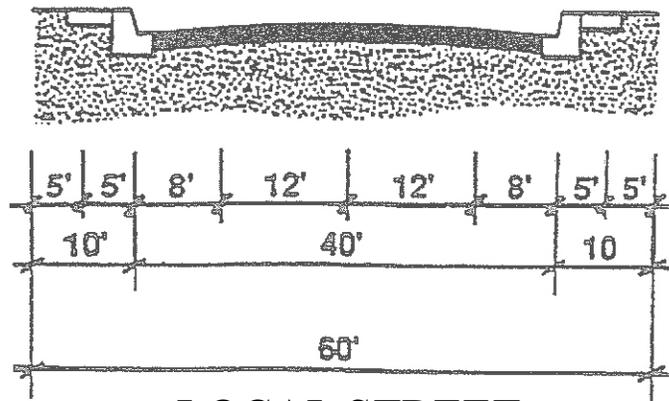
Figure 2.6-2
 Cross-Sections



DIVIDED COLLECTOR
PAINTED OR RAISED MEDIAN



COLLECTOR STREET
(Street A)

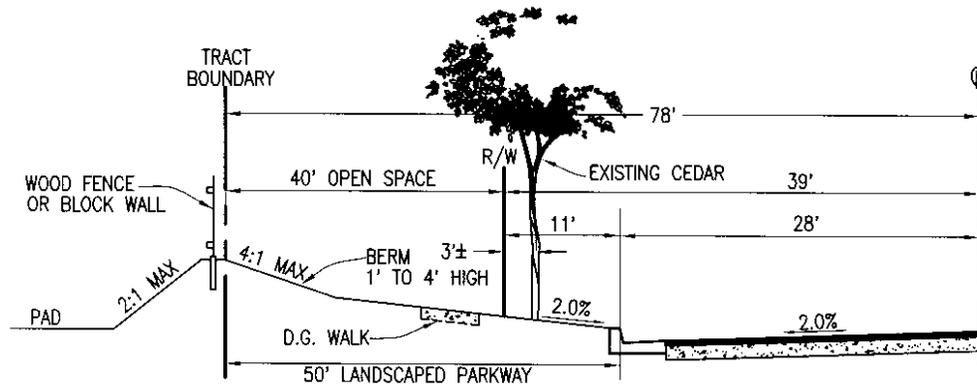


LOCAL STREET
(Interior Residential Streets)
(Street B)

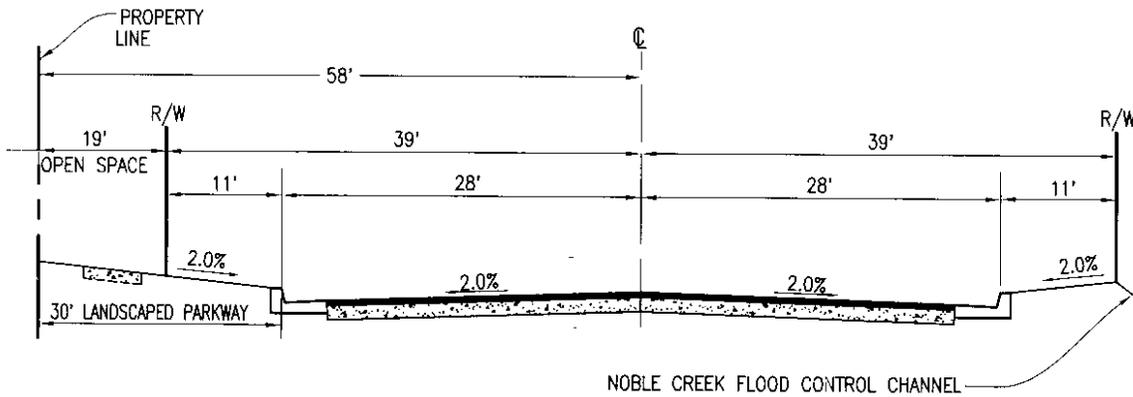
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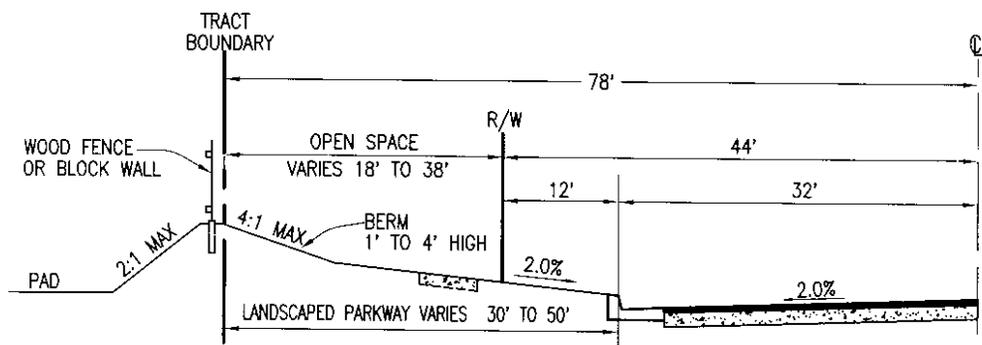
Figure 2.6-3
Roadway Cross-Sections, Street A and Street B



TYPICAL HALF-SECTION BEAUMONT AVENUE



TYPICAL SECTION NOBLE CREEK PARKWAY



TYPICAL HALF-SECTION TRANSITION BROOKSIDE AVE W/ NOBLE CR PKWAY

NOT TO SCALE
Source: Tahiti Group



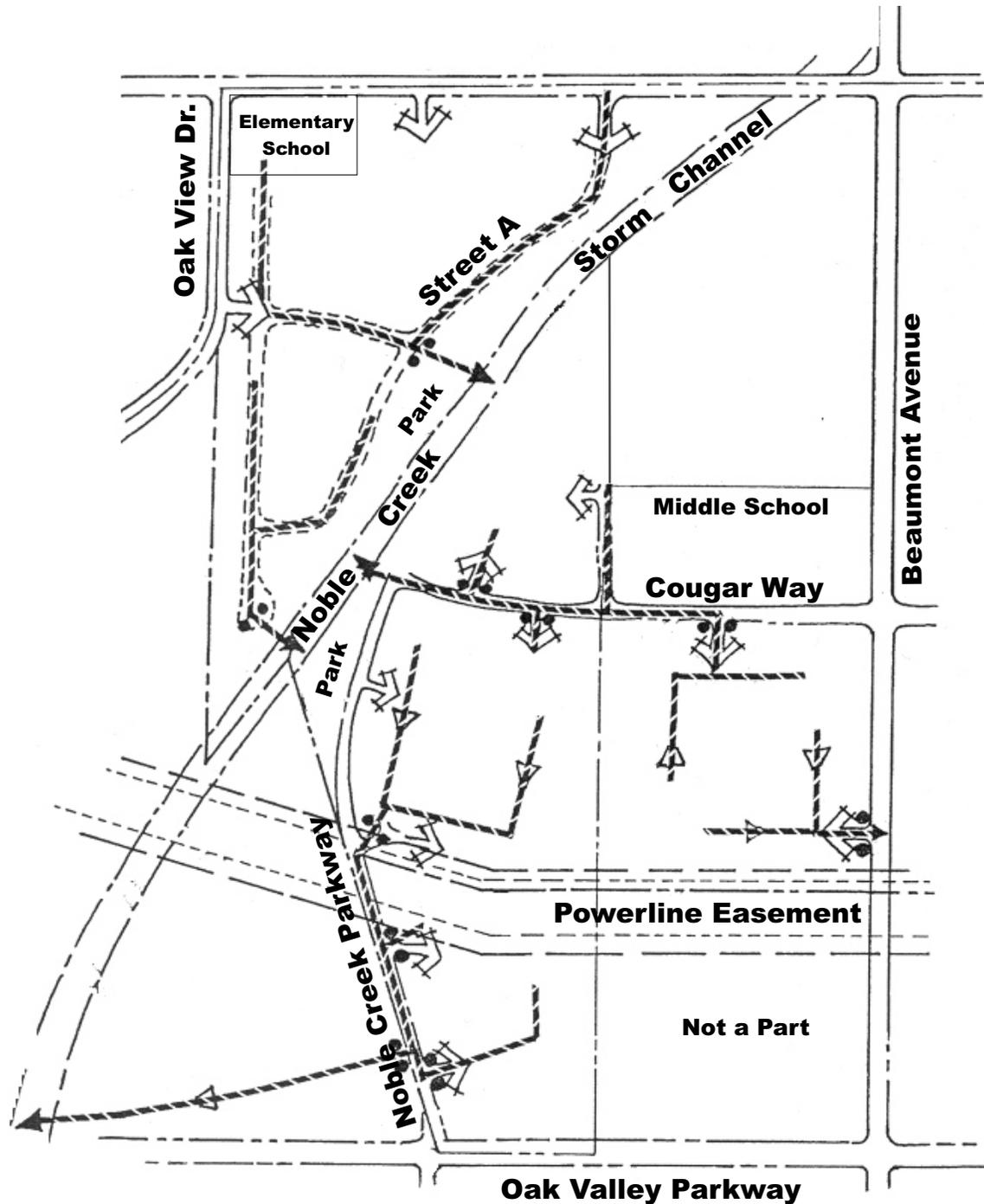
Figure 2.6-4
Street Section Exhibit

2.7 - DRAINAGE PLAN

The site lies just west of the crest of San Gorgonio Pass. Bounded by Oak Valley Parkway on the south and Brookside Avenue on the north, Noble Creek lies within this project and drainage is in a southwesterly direction within Noble Creek Vistas. Drainage runoff from Cherry Canyon, San Bernardino National Forest and easterly Cherry Valley flows within Noble Creek as it enters the project site.

The Noble Creek Channel essentially bisects the site in a northeast/southwest diagonal direction. A system of storm drain facilities will be required to drain the site into Noble Creek. Portions of the project are within the 100-year floodplain and will require either being raised above the 100-year floodplain or safeguarded by improvements to Noble Creek to eliminate the floodplain within the project, or a combination of both. In order to meet County Flood Control District standards, it may be necessary to incorporate detention basins into planning area subdivision design. Each tentative tract map submittal shall be required to demonstrate that the appropriate flood control requirements have been fulfilled to the satisfaction of the City Public Works Director. Please refer also to Figure 2.7-1, Drainage Plan.

Development of the site will alter natural on-site drainage courses to a certain extent. After development, new drainage courses will consist of streets, channels and swales, underground storm drains and/or a combination of the above. The majority of all on-site water will exit the site and drain into Noble Creek. Approximate drainage line locations are shown, however, the system layout and sizing will be determined during tract map preparation, when final planning and engineering studies have been completed.



 = Storm Drain and Catch Basin System

Note: Final system layout and sizing will be determined during tract improvement plan preparation, when final planning and engineering studies have been completed.



NOT TO SCALE

Source: Tahiti Group



Figure 2.7-1
Drainage Plan

2.8 - WATER AND SEWER PLANS

The water purveyor for the site will be the Beaumont - Cherry Valley Water District. The only domestic water facilities near the site, at present, is a 12" line in Oak Valley Parkway, a 12" line in Cherry Valley Boulevard, and 12" line on the east side of Beaumont Avenue south of Brookside, which are inadequate to serve the project. Master plan water facilities and storage facilities, as shown on Figure 2.8-1, will be required by the project and will become an integral part of the planning process for the project. The Water District proposes a new +3.0 million-gallon water reservoir north of the project and a new 16" transmission water main to supply this zone. These new facilities are planned to be in place to supply this development. Approximate water line locations are shown, however, the system layout and sizing will be refined during future final tract map preparation.

Sewer service is provided by the City of Beaumont. There are, at present, no sewer facilities available in the project. The City of Beaumont is presently designing a system of trunk sewer lines, in accordance with the approved Sewer Master Plan, which will, when constructed, be brought to the site along the easterly side of the Noble Creek Channel to Brookside Avenue. The trunk sewer line is being designed to serve this project. Collector sewers within the project will connect with the trunk sewer at various points, as shown on Figure 2.8-2. Sewer line sizes are not shown. Proposed alignment connection points and sizing will be accomplished upon obtaining detailed planning and engineering criteria during tract map preparation.

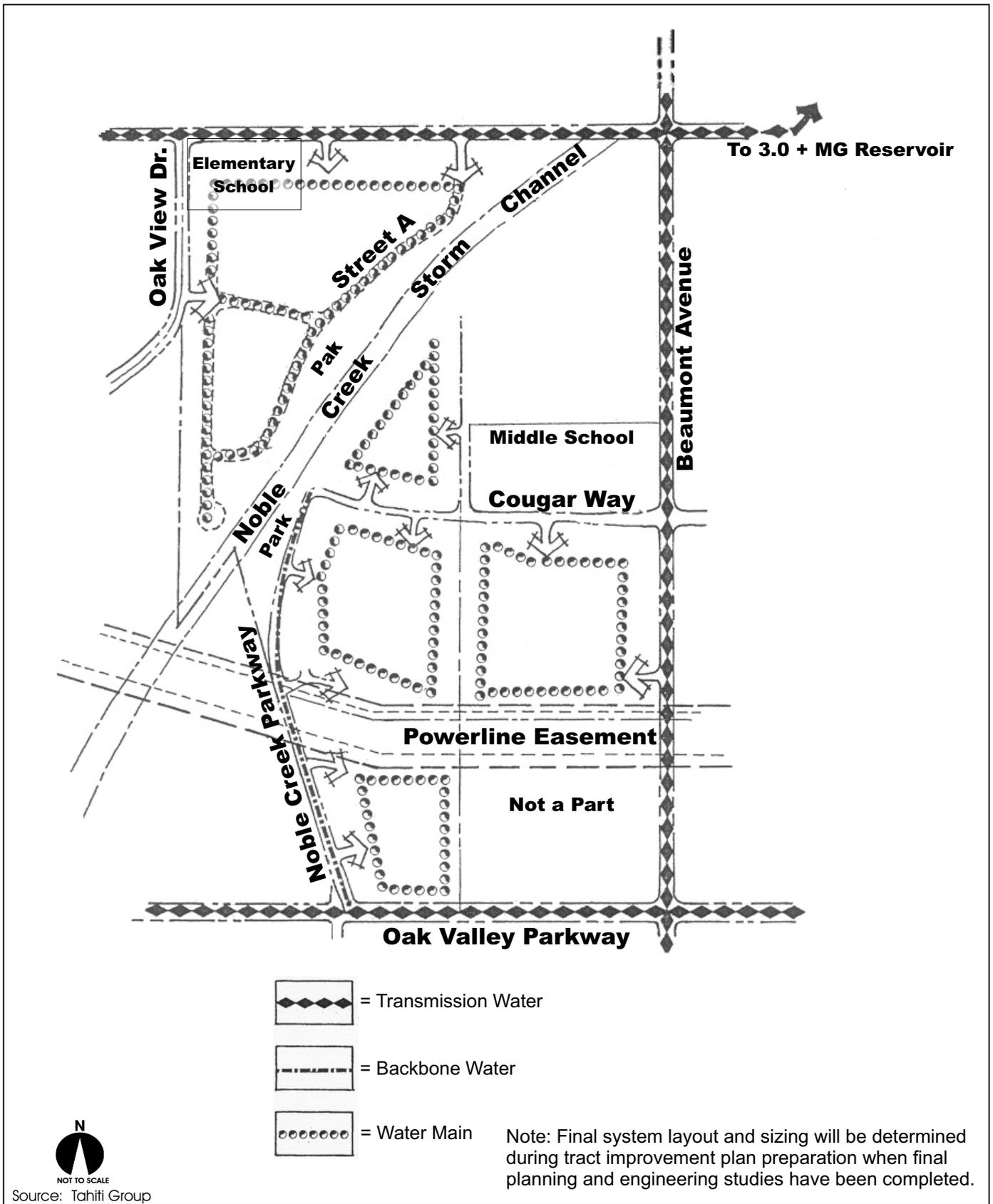
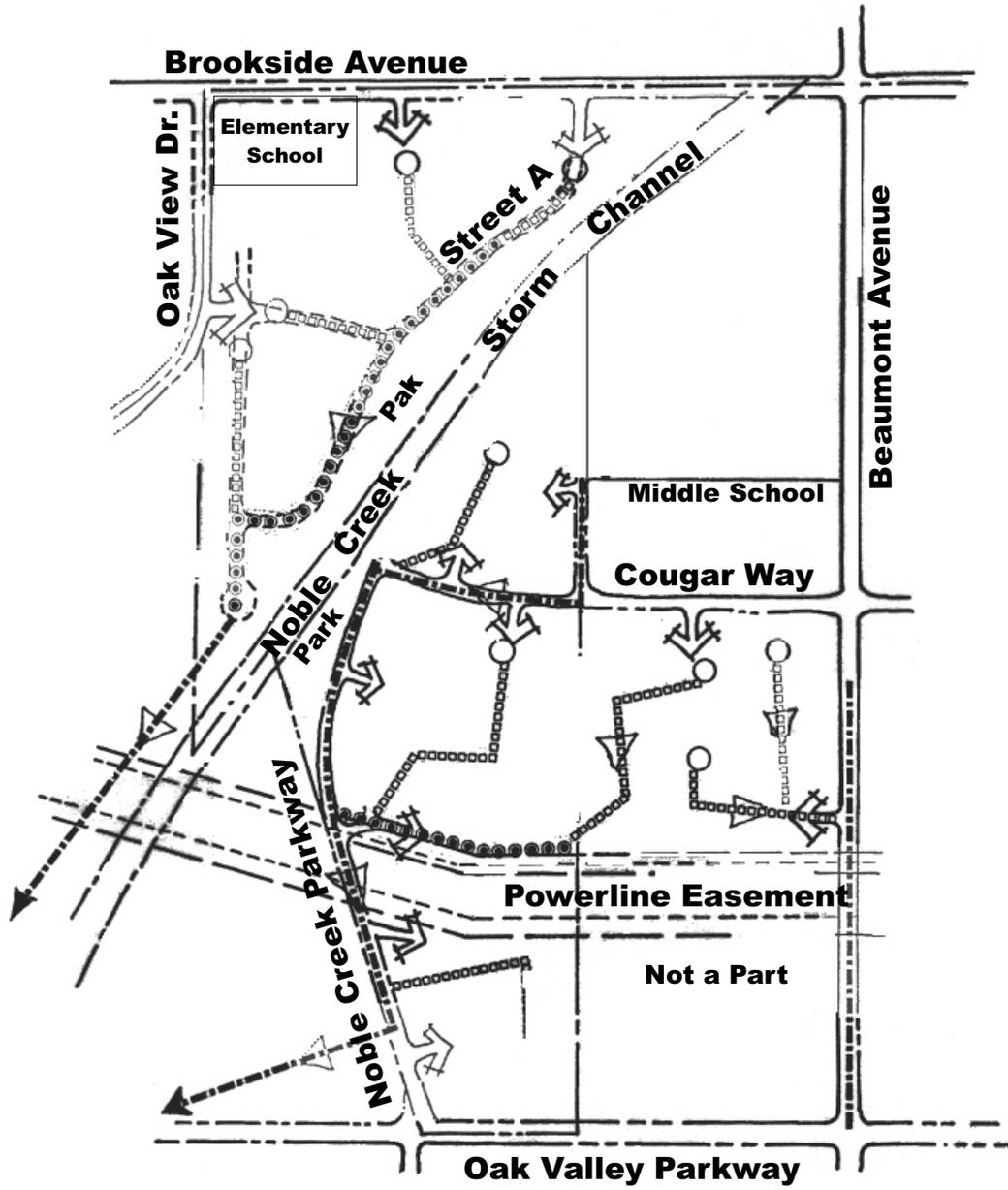
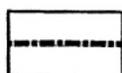
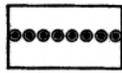
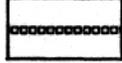


Figure 2.8-1
Water Plan



-  = Trunk Sewer
-  = Collector Sewer
-  = Sewer Main

Note: Final system layout and sizing will be determined during tract improvement plan preparation when final planning and engineering studies have been completed.



NOT TO SCALE

Source: Tahiti Group

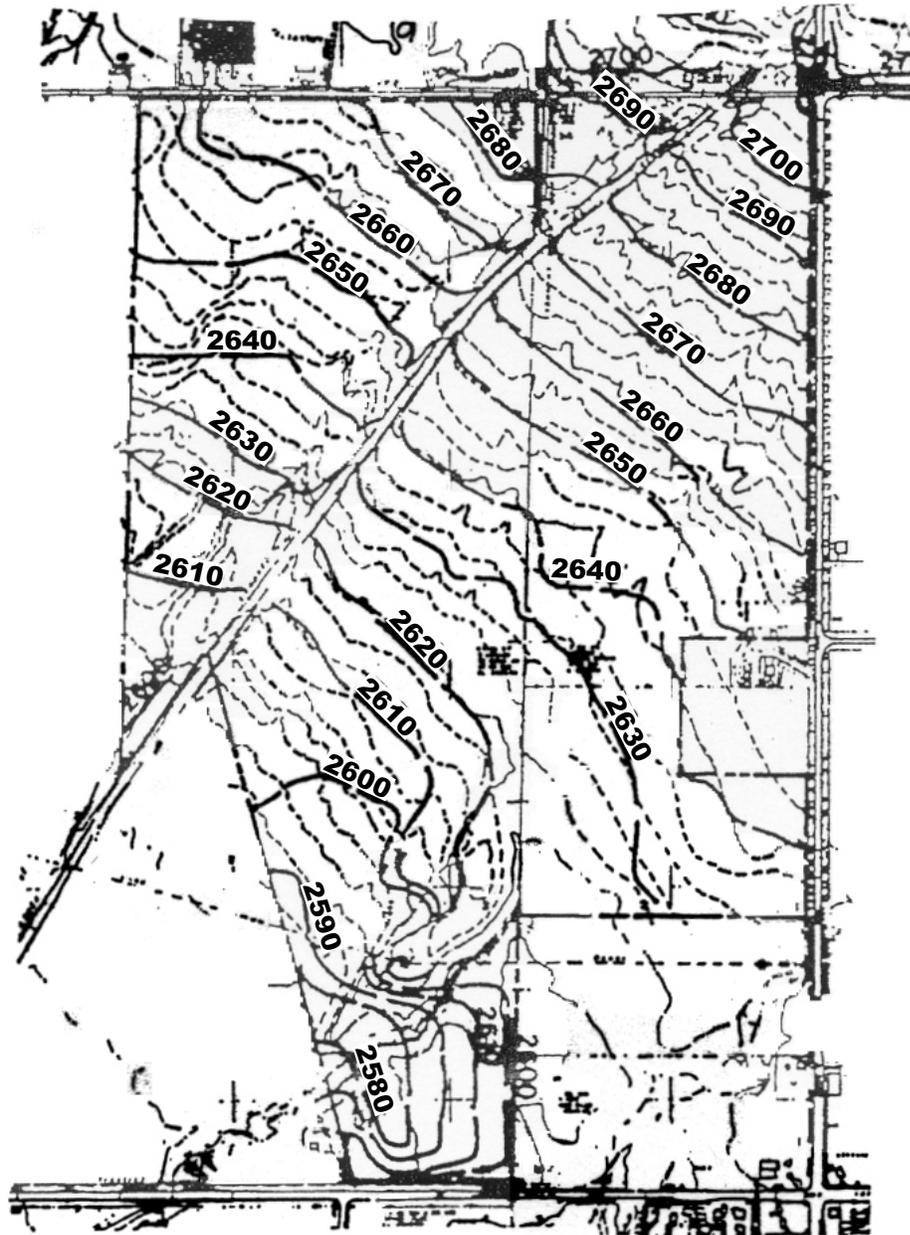


Figure 2.8-2
Sewer Plan

2.9 - GRADING PLAN

Grading for the Noble Creek Vistas site will be tailored to the existing topography of the property. It is intended that the proposed plan be sensitive to and reflect original natural land forms, where possible, so that various land uses and residential enclaves are distinguished and separated by topographic features. Please refer also to Figure 2.9-1, "Conceptual Grading Plan."

The majority of the site is gently sloping, with the exception of the Noble Creek Channel traversing through the site. Those gently sloping portions of the site will require minimal cut and fill operations. Earthwork quantities will be balanced in logical areas on site. The Grading Plan also establishes a basis for appropriate treatment of drainage requirements and provides for a street system which meets City of Beaumont standards for acceptable grades.



LEGEND:



Natural Contours



Graded Contours



NOT TO SCALE

Source: Tahiti Group



Figure 2.9-1
Grading Plan

SECTION 3:

DEVELOPMENT STANDARDS & GUIDELINES

SECTION 3:

DEVELOPMENT STANDARDS & GUIDELINES

3.1 INTRODUCTION

The following provisions establish use restrictions and development standards for each land use to be developed within the Noble Creek Vistas Specific Plan project area. Noble Creek Vistas development standards will be established through creation of Specific Plan Area zoning.

3.1.1 Purpose and Intent

The general purpose and intent of this Specific Plan is to preserve and promote the public health, safety and general welfare of the community. This Specific Plan has been drafted and tailored to specifically provide detailed land use restrictions and development standards. This Specific Plan will give the City control over proposed development which will in some instances be more restrictive than the existing City of Beaumont Zoning Ordinance.

3.1.2 Applicability

These development standards shall be applicable to all property within the Noble Creek Vistas Specific Plan area. Licenses and permits for land development shall be issued only when it has been determined by the City that the proposed land uses are in conformance to the provisions of the Specific Plan.

3.1.3 Interpretation

The provisions of this Specific Plan shall be held to be minimum requirements in their application and interpretation. No provision of this title is intended to abrogate or interfere with any deed restriction, covenant, easement, or other agreement between parties. City of Beaumont staff shall interpret this Specific Plan. If there is dissention in the interpretation of the provisions of this Specific Plan between City of Beaumont staff and the project proponent, then the City of Beaumont Planning Commission shall interpret the intent by resolution of record. The decision of the Commission shall be final unless the project proponent is in disagreement with their decision at which time he/she may seek final decision of the City Council.

3.2 DEVELOPMENT STANDARDS

3.2.1 Residential Standards

3.2.1.1 General Standards

The following standards shall apply to all Planning Areas within the Specific Plan.

**Table 3.2-1
General Residential Standards**

Item	Standard
Minimum Lot Size	6,000 square feet
Minimum Setbacks:	
Front Yard	20 feet (Measured from property line.) Dwellings with side entry garages shall be permitted a 10 foot front setback.
Rear Yard	15 feet
Interior Side Yard	5 feet; 10 feet for two-story structures. (No side yard setback required if approved for alternative residential layouts through subdivision process.)
Corner Lot Street Side Yard	10 feet

**Table 3.2-1
General Residential Standards**

Item	Standard
Encroachments into Setbacks	Chimneys - 2 feet Roof Overhangs - 3 feet
Building Height	No building shall exceed two (2) stories or thirty-five (35) feet, whichever is lesser in height.
Off-Street Parking	A minimum of two spaces shall be provided per dwelling unit in an enclosed garage. No vehicle shall be parked in any setback area of a residential lot except in driveways.
Landscaping	<ul style="list-style-type: none"> • All builders shall choose plants listed in Attachment A of the <i>County of Riverside Guide to California Friendly Landscaping</i> for landscaping of their lots/parcels. • Landscaping shall include shrubs, trees, vines, ground covers, hedges, flowers, bark, drips, decorating cinders, gravel, and similar material which will improve the appearance of yard areas. • Required front and side yards shall be continually maintained by the property owner and shall not be used for off-street parking of vehicles or loading spaces, with the exception of a 10-foot wide side yard, which may be used for parking. • Each yard (front and rear) shall be served by at least one permanent water hose bib. • Front yard landscape plans shall be approved by the City prior to issuance of building permits for each residence. All front yard landscaping shall be installed prior to obtaining a certificate of occupancy.
Signs	The provisions of Chapter 17.60 of Title 17 shall apply.

**Table 3.2-1
General Residential Standards**

Item	Standard
Off-site Improvements	Off-site improvements including streets, curbs, and gutters shall be provided where abutting each residential lot prior to certificate of occupancy issuance. Where determined necessary during tract map review, sidewalks shall also be provided prior to certificate of occupancy.
Lot Coverage (max. permitted)	60 percent
Unit Size	Unit sizes will be reviewed by the City at the time each individual tract is submitted for review. Unit sizes shall comply with any applicable City standard.
Energy Efficiency	All residential units shall comply with the California Green Builder Program.

3.2.1.2 Specific Standards

The following tables further refine the standards of each Planning Area.

**Table 3.2-2
Development Standards - Planning Area 1**

Product Type	Single-Family Home (Detached)
Lot Size	6,000 - 15,000 sf
Minimum Lot Width	55 feet
Minimum Lot Depth	90 feet
Notes: <ul style="list-style-type: none"> • All lots that back up to Brookside Avenue shall be at least 10,000 square feet. In addition, 25 percent of these lots shall be a minimum of 15,000 square feet. • At least 50 percent of the homes that back up to Brookside Avenue shall be single-story homes. 	

**Table 3.2-3
Development Standards - Planning Area 7**

Product Type	Single-Family Home (Detached)
Lot Size	6,000 - 15,000 sf
Minimum Lot Width	55 feet
Minimum Lot Depth	90 feet
Notes:	
<ul style="list-style-type: none"> • A minimum of 29 lots within the Planning Area shall be larger than 7,200 square feet. 	

**Table 3.2-4
Development Standards - Planning Area 8**

Product Type	Single-Family Home (Detached)
Lot Size	6,000 - 15,000 sf
Minimum Lot Width	55 feet
Minimum Lot Depth	93 feet
Notes:	
A minimum of 32 lots within the Planning Area shall be larger than 7,200 square feet.	

**Table 3.2-5
Development Standards - Planning Area 10**

Product Type	Single-Family Home (Detached)
Lot Size	7,000 - 12,000 sf
Minimum Lot Width	60 feet
Minimum Lot Depth	90 feet
Notes:	
<ul style="list-style-type: none"> • All residential lots that back up to Beaumont Avenue shall be at least 10,000 square feet in size. In addition, at least 25 percent of these lots shall be a minimum of 15,000 square feet. • At least 50 percent of the homes that back up to Beaumont Avenue shall be single-story homes. 	

**Table 3.2-6
Development Standards - Planning Area 11**

Product Type	Single-Family Home (Detached)
Lot Size	6,270 - 15,000 sf
Minimum Lot Width	57 feet
Minimum Lot Depth	110 feet
Notes: A minimum of 53 lots within the Planning Area shall be larger than 7,200 square feet.	

3.2.2 Recreational Standards

The following Table 3.2-7 presents the standards applicable to the recreational areas contained within Planning Areas 4, 5, 9a, and 9b.

**Table 3.2-7
Recreational Standards**

Lot Area	Mo minimum lot area requirement
Setbacks	These setbacks shall be applicable to the location of buildings (restrooms, equipment storage) on the site. Whenever a building is to be constructed on a lot in this zone, it shall have a front yard, side yard and rear yard, each of which shall not be less than 20 feet. If more than one building is constructed on the lot, there shall be not less than 20 feet separation between buildings. Wherever feasible, restrooms shall be sited as far as possible from proposed neighboring residences.
Off Street Parking	On-site automobile parking may be required in this zone. Detailed park plans will be reviewed by the City at the plot plan stage and will provide adequate parking in compliance with the City's requirements.
Bike Lanes	Class II bike lanes will be provided on all arterial, major, secondary and collector level streets.
Trash Areas	All trash collection areas shall be enclosed with a solid fence or wall, no less than six feet high.

**Table 3.2-7
Recreational Standards**

Signs	Signs shall be permitted and regulated by the provisions of Chapter 17.60 of Title 17. The Planning Director shall have the authority to approve signage exceeding the standards as specified in Chapter 17.60 provided that said signage by review of design, materials, color and location is determined to be in the interest of the public health, safety, general welfare and aesthetics of the community.
Landscaping	Landscaping in the form of ground cover shall be required in this zone. Shrubs, canopy and accent trees will be strategically located to provide shade and aesthetic quality to development within this zone. All landscaping shall be irrigated.

3.3 DEVELOPMENT GUIDELINES

3.3.1 Residential Guidelines

Accessory Building Uses

Accessory buildings and structures, including private garages and storage structures (sheds) which shall be developed under the following site development standards:

- Accessory buildings greater than one (1) story (fourteen feet in height) shall not occupy any part of a required yard, and no accessory building shall occupy more than twenty (20) percent of a required rear yard. All accessory structures shall maintain a minimum five (5) feet setback from any property lines.
- Accessory buildings shall not be located closer than ten (10) feet to the nearest part of a main building in order to maintain sufficient lighting and ventilation. Accessory buildings are considered to be storage sheds, gazebos and other ancillary structures.
- No accessory building shall occupy a portion of a required front or side yard.
- In the case of a reversed comer lot, no building shall be erected upon such lot closer than five (5) feet to the property line of any abutting lot to the rear.

Tentative Tract

The following uses are permitted subject to the approval of a tentative tract. The tentative tract approval may include conditions requiring fencing and landscaping of the parcel to further enhance compatibility with the surrounding area.

- Zero lot line or Cluster Residential Development alternatives to traditional residential street layouts will be permitted through plot plan review. Densities will not exceed planning area allowances. All residential site development standards shall apply except there shall not be any interior side yard setback requirements. This alternative is only available within Planning Areas 6-10.
- Temporary real estate tract office and/or mobile homes located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of 2 years in any event, unless an extension is approved by the Planning Commission.
- Nurseries, horticultural, during development of the Specific Plan site to facilitate project development.

The planning area graphics, presented in Section 2, serve the purpose of identifying landscape edge treatments, number of dwelling units, lot sizes and acreage within each planning area, and are considered to be a useful tool for guiding future developers and/or merchant builder. Internal street layout and subdivision of individual units are not illustrated at the Specific Plan level. This level of detail will be provided by the individual developer/merchant builder of each planning area at the tract map stage. In addition, planning areas shall be required to demonstrate adequate secondary access at that time.

Residential site planning criteria has been established and is intended as a positive means to achieve a cohesive character and quality, which will protect and enhance the entire community.

The site planning concepts shall:

- Maintain a consistent design approach (streetscape, etc.) which unifies individual neighborhoods.
- Achieve a variety of unit types appropriate to each planning area.
- Use innovative site planning and building design to achieve a sensitive relationship between the built and the natural environment.
- Maximize exposure of units to open space and other amenities.
- Preserve and enhance the aesthetic quality of the community.
- Utilize energy efficient design in the structures.

Conditional Permit Uses

Conditional Permit Uses are not proposed and will not be permitted on the site.

Public Uses

The following uses are permitted in all Residential Planning Areas subject to the approval of a Public Use Permit pursuant to Chapter 17.70.100 of Title 17 and given that they encompass the entire planning area.

- Public schools, private schools and educational institutions and churches.

Site Planning

The residential development within the Noble Creek Specific Plan area is comprised of single-family detached homes on lots ranging from 6,000 square feet to one acre. All units will have individual lots. For these uses the following guidelines shall be followed:

- Use of cul-de-sacs to deter through traffic on local roads.
- Minimize geometric grid layout of streets and lots.
- Minimize grading where feasible.
- Vary setbacks of homes from street.
- Vary orientation of garages and entries to create an interesting streetscape.

- Encourage articulation of the streetscape by varying unit footprints, massing, roof forms, garages, entries and architectural details.
- Create identifiable neighborhoods.
- Create pedestrian scale.
- Establish park and pedestrian linkages.
- Provide access to recreation.

Environmental Responsibility

All residential units constructed within the project site will include energy efficient design and features that are mindful of the environment. To this end, all homes will be constructed and certified under the California Green Builder Program, as described on the California Green Builder website.

3.3.2 Architectural Guidelines

Building Form, Mass and Scale

The architectural image and identity of the community will primarily be perceived from public spaces such as streets, parks and other open space areas. Building form, massing and scale are therefore primary design components which require careful articulation in their architectural expression to these public spaces. The visible side and rear elevations of residential units are important, depending upon the location and orientation of the home. Consideration should be given to the articulation of rear and side elevations viewed from public spaces by providing variations in roof forms. Interesting building form and massing should be achieved without superficial design elements.

Appropriate	Inappropriate
Articulation of wall planes to create shadow relief and visual interest.	Large expanse of plain, straight wall planes, not otherwise articulated by form, fenestration or materials.
Simple monolithic building forms conveying an impression of permanence.	

Projections and recesses to provide shadow and depth.

Raised banding and relief at eaves, openings and chimneys.

Gabled roof with raised plate for vertical accent.

Building Heights and Setbacks

Building height and setback requirements shall conform to the Development Standards as set forth in the Specific Plan and these Guidelines.

In order to avoid monotonous street scenes in residential planning areas, repetitive floor plans should be alternately reversed and their roof expressions varied. Single-family residences should maintain low plate lines and profiles along street fronts and boundary edges. Front yard setbacks should be staggered. To soften the architectural edge at area boundaries, building heights shall maintain a low profile through a combination of one and two story elements and varied floor setbacks at second-stories. To lower the apparent height, second-story rooms may be tucked into roof planes and roofs may be clipped at the sides and comers of the buildings.

Appropriate

Variation in plate height, minimum plate height 8 foot.

Variation in ridge line height and alignment.

Symmetrical or asymmetrical plans as appropriate to architectural styles.

Floor plans arranged to provide usable private exterior spaces such as patios, atriums and recessed entries.

Varied front yard setbacks.

Inappropriate

Consistent front yard setback with no variation.

Roof Forms and Materials

Roof forms are a highly visible community feature. A range of roof forms and pitches should be utilized to add an appealing visual impact to the community/streetscape. Simple pitched gable, hip or shed roof forms will be the predominant roof elements in Noble Creek. Roof projections and overhangs are encouraged as response to energy and climate concerns. Low maintenance details limiting the amount of exposed wood are encouraged. All pitched roofs shall be tile or equivalent. All flat roof areas, when utilized, shall require a gravel surface of earthtone color or similar uniform coverage treatment.

Appropriate	Inappropriate
Roof Materials: Clay barrel or "s" tile, integral color concrete "s" or shake tile and slate.	Mansard, gambrel and "period" style roof forms.
Simple pitched gable, hip and shed roof forms or combination thereof with raised plate for vertical accent.	Non-continuous roof parapets.
Pitched roof material palette should contain more than one color to achieve a variegated appearance.	Flat roofs in excess of 20 percent of the total roof area.
Small areas of flat roofs with parapets are allowed up to 20 percent of the total roof area.	Wood shake and composition shingle.
Roof pitches as appropriate to the architectural style, but in no case less than 4:12.	Brightly colored glazed tile.
Variation in ridge line height and alignment.	
Varying plate heights.	
Simple fascia detailing.	

Exterior Materials and Color

Exterior building materials shall be of natural materials which are compatible with and reflect the elements of the surrounding environment. This includes wood, masonry, stone, concrete and stucco. Exposed wood sheathing shall be limited to the underside of roofs or patio decks. The simple use of tile, brick, stone, masonry or pre-cast concrete are permitted as design accents and trim. Exterior stucco shall be utilized as the primary wall material and shall have a smooth, sand or other light finish texture.

Color is intended as a primary theme element. The value should generally be light earthtones, with darker or lighter accents to highlight the character of the structure; particularly in respect to balcony railings, fascias, awnings, inlaid tile bands and cornice bands. Complementary accent materials and colors are allowed and encouraged. All accents must relate to the architectural form and character of the building. Wood trim shall be stained with semitransparent stain or painted as accents.

Appropriate	Inappropriate
Predominantly exterior stucco and masonry as primary wall materials.	Heavy textured stucco, such as Spanish lace, swirl or heavy trowel.
Use of wood as trim or accent material.	Vinyl, metal or aluminum siding
Smooth-textured stucco, may have uneven surface to recall hand-worked appearance.	Rustic materials utilized as primary wall surfaces and dark earthtone colors.
Where timber is utilized, it should be substantial in proportion and appearance.	Over application of bright accents or trim colors.
Where architectural materials, such as masonry or stone, are applied to a facade, those materials shall be applied to the side elevations where visually prominent, and wrap around comers by a minimum of 4 feet.	
Materials changes may be utilized to visually break up second-story elevations.	
Apply architectural treatments to all elevations, especially where prominently visible, as at street comers.	
Light earthtone colors on primary wall surfaces.	
Contrasting trim colors.	
Limited use of selected accent colors which complement the designated color scheme.	

Windows and Doors

Detailed and recessed door, window and wall openings are characteristics of the intended architectural style of Noble Creek, and should convey the appearance of thick, well-founded walls. Fully recessed openings are encouraged. Design treatment and architectural features such as pediments, small roofs, overhangs and projections to recess windows and doors are appropriate. Projecting windows may be used to add articulation to wall surfaces.

Particular attention must be given to the shading of windows, especially those with a western exposure. Exterior and interior shading devices and solar screens are encouraged. All windows shall be double insulated to reduce solar heat gains and losses.

Appropriate	Inappropriate
Divided window lights to reduce the scale of large windows and provide visual interest (encouraged).	Plain exterior doors where visually prominent.
Deep recessed openings conveying an impression of thick walls and creating strong shadows.	Exclusive use of conventional aluminum frame windows without architectural treatment, such as divided lights, trim, recessed or projecting, etc.
Rectangular and arched openings.	Reflective glass.
Character, greenhouse and bay windows.	Gold or silver window and door frames.
Color accented window frames and mullions.	Metal awnings.
Clerestory and transom windows.	
Window balconies, dormer windows and roof windows.	
Decorative wood and glass panel doors with sidelights.	
French doors.	
Decorative brass or anodized hardware.	
Gabled window with pot shelf.	
Simple gated courtyard entry.	
Horizontal grouping of double hung windows.	

Hooded window with pot shelf.

Greenhouse bay with french doors.

Garage Doors

Garages are a major visual element in single-family detached housing. Garage doors should be the same color (light) and incorporate the same design elements and materials as the dwelling units. Ornamentation is encouraged as it relates to the architecture and provides visual variety along the streetscape. The design treatments include color accents and architectural features such as sediments, molding, small roofs, overhangs and projections to recess the garage door.

Appropriate	Inappropriate
Minimum 12" recess from adjacent walls.	Garages without architectural treatment on side elevations.
Roll-up doors, wood or metal acceptable.	Corrugated metal doors.
If painted or stained, color should be the same as the primary wall or trim color.	Bold trim and patterns.
Side-in garages.	Bright accent colors.
Deep overhangs.	

Chimneys

Chimneys, as an architectural form, shall be simple in design, having the same material texture and color as the building to ensure consistency of character and style. Chimney caps should repeat the fascia cornice band treatment integrating the trim colors.

Appropriate	Inappropriate
Simple, smooth plaster forms.	Exposed flues.
Boldly projected from wall surfaces.	Rustic material veneers.
Design feature adding articulation to walls.	Extravagant metal fireplace caps.
Raised plaster banding, insets and tile accents.	Brightly colored caps.

Chimney caps appropriate to architectural style.

Private Courtyard Walls

Private courtyard walls are encouraged to provide privacy, security and landscape definition. Wall treatment viewed from public streets shall be slump block or stucco finish consistent in treatment with the adjacent building. Plant material should be utilized to visually soften walls. Vines and espaliered trees are especially encouraged.

Appropriate	Inappropriate
Smooth or sand finish plaster or stucco walls.	Plain walls, not otherwise articulated by form, materials or alignment.
6" slump block walls.	Materials inconsistent with the architectural style such as standard concrete block or chain link fencing.
Accent tile banding or wood trim repeating cornice band.	
Adequate planting pockets between walls and walkways.	
Height, proportions and scale must be sympathetic to architecture of adjacent buildings.	
Use of pot shelves, low planters, recesses and niches.	
Pilasters with prominent bases and caps.	
Low garden walls which can serve as seating and flat display surfaces.	
Simple gated entry to a courtyard.	

Building Details

- Mechanical Equipment
All air conditioning/heating equipment, soft water tanks, electric meters and gas
-

meters should be screened from public view. Sound attenuation is encouraged. Roof mounted equipment and related duct work are prohibited on pitched roofs. Mechanical equipment located on flat roof areas is prohibited, unless screened by parapet walls as high or higher than the equipment. Exposed duct work is prohibited on flat roofs. Roof mounted mechanical equipment on flat roof areas shall not be allowed on houses located below other houses.

- **Gutters and Downspouts**

Gutters and downspouts and other devices for the control of roof water are important elements which may be concealed or exposed if designed and integrated as a continuous architectural feature. Exposed gutters and downspouts shall be painted to match adjacent roof, wall or trim material color.

- **Flashing, Sheet Metal and Vents**

All flashing, sheet metal, vent stacks and pipes shall be painted to match adjacent building surface. Painted metals shall be properly prepared and primed to ensure a durable, long lasting finish.

- **Antennas**

All antennas are restricted to the attic or interior of the residences. This standard will be enforced through the recordation of Conditions, Covenants and Restrictions on individual lots.

- **Skylights**

Skylights shall be designed as an integral part of the roof. Their form, location and color should relate to the architectural character of the building. Skylights shall be double insulated glazing, clear or white.

- **Solar Panels**

Solar panels shall be integrated into the roof design, flush with the roof slope and not mounted on racks. Frames must be colored to complement the roof.

Mill finish aluminum frames are prohibited. Support solar equipment shall be enclosed and screened from view.

- **Accessory Structures**

Patio trellises, pergolas and other exterior structures shall be constructed of wood or stucco as permitted by governing codes, with finishes compatible with adjacent building and complying with the approved material and color palette. Trellises and patio covers of bold, clean forms are encouraged. Free standing metal storage buildings are prohibited.

3.3.3 Landscaping Guidelines

- All builders will be required to choose plants listed in Attachment A of the *County of Riverside Guide to California Friendly Landscaping* for landscaping of their lots/parcels.
- All detailed landscaping programs for planning areas and roadways will be prepared by a qualified landscape architect.
- Project entry statements will be designed with landscaping and architectural treatments that provide a high quality image for the project site.
- Major, secondary or neighborhood signage may be provided at each entry statement. Said signage shall be coordinated with wall design so that it will be aesthetically pleasing.
- Special landscaped treatment buffers will be developed at the park/residential edge and at the powerline easement edge.
- Primary entry roads to the site will have landscaped shoulders to define the project's design concept. The introductory landscape theme will include elements such as tree clustering to reinforce the project theme and character. Sidewalks will meander through the landscaped land on each side of the road.
- Planning areas may be separated by either roads or slopes reflecting the original natural terrain.
- The landscaping theme for the site will include trees, shrubs and ground cover compatible with natural vegetation growing on-site, where feasible.

- The applicant and/or developer shall be responsible for maintenance and upkeep of all slope planting, common landscaped areas, and irrigation systems until accepted for maintenance by the Landscape & Lighting District, Homeowners Association or Community Facilities District.

Streetscape Landscaping

The following section identifies the streetscape standards for Noble Creek Vistas roadways. The standards include a street theme tree with complementary plantings within the landscape development area.

Street/Section from Figure 2.5-1	Major Tree
Street Section A	Cedrus deodar (Deodar Cedar)
Street Section B	Pinus brutia eldarica (Mondel Pine)
Street Section C	Acacia saligna (Wattle Tree)

The major theme tree should represent approximately 60 percent of the total quantity of street trees used within each designation. This will establish a theme for each roadway. The remaining plant material will be selected from Attachment A of the *County of Riverside Guide to California Friendly Landscaping* for landscaping of their lots/parcels. It is intended that a simple consistent palette of plant materials be utilized throughout to reinforce a strong sense of community identity. The minimum tree size to be used within the project streetscape is a 24-inch box.

Climate Constraints

The climatological factors of this area mandate careful adherence to the provided plant list. Temperature extremes and limited rainfall are determining factors in plant selection. Microclimate conditions created by development will need to be considered to guide in the most appropriate plant material selection. The following is a summary of the climatic conditions in the Beaumont area.

- **Temperature**
The average summer daytime maximum temperature is 92 degrees Fahrenheit with the average nighttime temperature being 56 degrees. The average winter daytime temperature is 58 degrees with an average nighttime temperature of 37 degrees. Generally, the extreme summer temperature is 105 to 110 degrees and generally the minimum winter temperature is 15 to 20 degrees.
- **Rain**
Average annual rainfall is 17 inches per year.
- **Humidity**
Average annual humidity is 24.5 percent.

Maintenance/General

All landscape and irrigation shall be designed to promote ease of maintenance. Plant material size and form should be appropriate for its function to minimize the need for pruning. Plant spacing should reflect mature size requirements to avoid overcrowding. Irrigation for trees, shrubs and ground covers should be a "hard line" drip system. The irrigation controllers should have the capability of long watering times to accommodate a drip system.

Irrigation backflow prevention devices and controllers shall be located with minimum public visibility or shall be screened with appropriate plant materials.

Homeowners will be encouraged to select plant material from the plant palette identified in the Specific Plan. Covenants Conditions and Restrictions shall be prepared and recorded for each lot which require that all yard areas shall be planted, that hardscape be limited to 50 percent of yard area and that all plant material be maintained in a healthy condition.

3.3.4 Recreational Guidelines

Principal Permitted Uses

The following uses are permitted subject to the approval of Site Plan review by the Planning Commission. The Site Plan may include conditions requiring fencing and landscaping of the parcel to further enhance compatibility with the surrounding area. More than one use shall be permitted on a lot.

- Picnic area
- Group barbecue area including grills
- Basketball court (half-court or full-court)
- Volleyball court
- Tot lot
- Adventure play
- Tennis courts
- Shade arbor
- Restrooms
- Equipment storage building
- Parking lot
- Bicycle racks/storage
- Par (exercise) course
- Baseball/softball, football/soccer fields
- Additional recreational uses that are determined to be "substantially similar" to the listed examples and in complete accord to the Purpose and Intent of this zone.

3.3.5 Circulation Guidelines

- The proposed Circulation Plan provides an efficient traffic design that meets or exceeds the public safety, security and transportation needs of the project.

- Through traffic to the greatest extent feasible should be eliminated from residential neighborhoods. Major roadways should be implemented as non-access roadways, with residential neighborhoods served by smaller residential local roads.
- Future tentative tract maps shall comply with the street improvement recommendations/mitigations outlined in the project traffic study.

- On-site roads will be constructed as:

Beaumont Avenue (39' half section)

Noble Creek Parkway (78' R.O.W.)

Brookside Avenue (44' half section)

Cougar Way/Elm Street (94' R.O.W.)

Collector Streets (70' R.O.W.)

Local Streets (60' R.O.W.)

- Landscaping requirements will be based on street width in accordance with the Landscaping Plan, illustrated in Figure 2.5-1, and may be implemented through an assessment district or similar financing mechanism.
- Some roadway improvements may be implemented through an assessment district or similar financing mechanisms.
- All roads shall be constructed to ultimate City standards as a requirement of the implementing subdivisions for the Specific Plan, subject to approval by the Public Works Director.
- Internal street layout (local roads) shall be provided by the individual developer/merchant builder of each Planning Area at the tract map stage. In addition, each Planning Area shall be designed to provide adequate secondary access to the satisfaction of the Fire Chief.

3.3.6 Drainage and Flood Control Guidelines

- Drainage and flood control facilities and improvements as identified on the Drainage Plan (Figure 2.7-1) shall be provided in accordance with the City of Beaumont's drainage requirements. The design of each tentative tract map shall meet the flood control standards established by the County of Riverside, City of Beaumont and Clean Water Act. Consistency with aforementioned standards may require the implementation of on-site detention and/or siltation basins, raising of pad elevations or channel improvements.
- Maintenance of project drainage facilities will be determined during review of tentative tract map submittals. Major flood control facilities are typically maintained by the County of Riverside or the City of Beaumont.
- The Noble Creek Flood Control Channel will be maintained by the Riverside County Flood Control District or City maintenance entity. A cross-section of this channel is shown on Figure 2.5-3, Drainage Corridor.
- The project will be required to comply with the Army Corps of Engineers 404 and California Department of Fish and Game 1601 permit process.

3.3.7 Water and Sewer Guidelines

- All water lines and related and required water service will be designed per City of Beaumont and Beaumont-Cherry Valley Water District requirements.
- All sewer service improvements will be constructed in accordance with the City of Beaumont's requirements.
- All sewer service improvements to be maintained by the City of Beaumont.
- All water and sewer lines will be properly sized to adequately service proposed future growth potential.

- The cost of constructing oversized lines to serve existing or future off-site population shall be the responsibility of those to be served in accordance with the rules and regulations of the City of Beaumont.

3.3.8 Grading Guidelines

- All grading activities shall be in substantial conformance with the overall Grading Plan (Figure 2.9-1), and shall implement any grading related mitigation measures outlined in: Seismic Safety (EIR), Slopes and Erosions (EIR) and Preliminary Geotechnical Investigation (Technical Appendices).
- Prior to any development within any area of the Specific Plan, a Grading Plan for the portion in process shall be submitted for Planning and Engineering Department approval. The Grading Plan for each such area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that area.
- All streets shall have a gradient not exceeding 10%.
- All grading procedures shall be in compliance with the City of Beaumont Grading Standards. Standard engineering techniques will minimize the soil erosion and siltation potential to acceptable levels. Prior to grading plan, approval, the project proponent shall submit to the City of Beaumont for review and approval an erosion control program which indicates proper control of siltation, sedimentation and other pollutants. The erosion control program measures will include but are not limited to, revegetation of cut and fill areas, utilization of sediment control devices at construction sites and diversion of storm run-off from development areas. All drainage will be conveyed in non-erosive drainage devices to suitable disposal points. Energy dissipation and methods for preventing scour and erosion should be part of any drainage improvements.

- Prior to submittal of the final tract map, a detailed Grading Plan shall be prepared and included with the map. The Grading Plan shall include the following information:
 - a) Preliminary grading quantity estimates;
 - b) Designation of areas which will be off-limits for temporary borrowing or exporting of material;
 - c) Techniques which will be utilized to prevent erosion and sedimentation during and after the grading process;
 - d) Approximate time frames for grading including identification of areas which may be graded during the rainy season (November through April);
 - e) Preliminary pad and roadway elevations; and
 - f) Site drainage during grading.

- Detailed grading plans shall be prepared prior to any on-site grading for each project or group of projects.

- The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations become the responsibility of other parties.

- The overall shape, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.

- Potential brow ditches, terrace drains or other minor swales, determined necessary at future stages of project review, shall be lined with natural erosion control materials or concrete.

- Grading work shall be balanced on-site where and whenever possible.

- Graded slopes shall be planted with interim erosion control plant materials if and when needed.

- All cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot unless otherwise approved by the City, and/or the Geotechnical Engineer of Record.
- Grading shall not be permitted prior to approval of grading permits for the development area in question.
- Graded slopes shall be oriented to minimize visual impacts to surrounding areas.

SECTION 4:

IMPLEMENTATION AND ADMINISTRATION

SECTION 4:

IMPLEMENTATION AND ADMINISTRATION

4.1 - PHASING OF DEVELOPMENT

4.1.1 Phasing Plan

It is expected that the proposed project will be phased over a 5 year period, in response to market demands, according to a logical and orderly extension of roadways, public utilities and infrastructure.

4.1.2 Phasing Standards

The maximum dwelling unit total for the project as a whole is 648, however, for any particular planning area the number of dwelling units may be exceeded by up to ten (10) percent. If the developer should wish to exceed the maximum for a particular planning area, as stated above, a tracking report will be submitted to the City Planning Department, to demonstrate all dwelling unit shifts on a project-wide basis. A Specific Plan Amendment will not be required, provided that the tracking report explains to the satisfaction of the Planning Director the proposed dwelling unit distribution. Adherence to applicable development standards shall be required in any event.

Prior to issuance of building permits, improvement plans for the respective landscape areas for that stage of development shall be submitted to the City Planning Department for approval. The improvement plans shall include, but not be limited to the following:

- Final grading plan.
- Irrigation plans certified by a licensed landscape architect.
- A landscaping plan with seed mixes for mulching and staking methods; locations, type, size and quantity of plantings.
- Fence treatment plans.
- Special treatment/buffer area treatment plans.
- The availability of infrastructure will determine project phasing.

Maintenance Districts

Successful operation of maintenance districts and associations are important in maintaining quality in the project area. It is anticipated that maintenance responsibilities for private community facilities will be divided among a Master Homeowner's Association, or Neighborhood Associations. Maintenance costs for parks will be addressed through annexation to a Community Facilities District (CFD 93-1). Further, it is anticipated that public facilities will be dedicated to, and maintained by the City of Beaumont.

Parks

Three parks will potentially be provided for the benefit of community residents, as discussed previously in this report. These parks are proposed to be constructed by the project developer then dedicated to a Community Facilities District or similar maintenance organization. As described in prior sections, a more detailed parks program will be developed to ensure that all landowners/developers participate equitably in the attainment of the City's park standards.

Schools

Two (2) school sites are owned and operated by the local school district.

Project Roadways

All public project roadways will be designed and constructed to standards acceptable to the City and will therefore be dedicated to the City for maintenance.

Management of the Specific Plan

This Specific Plan will be used by the City to guide and control land development throughout the Noble Creek Vistas site. Development of the site will be in accordance to the infrastructure plans and the Development Standards contained herein. Future Tract Maps and Plot Plans will be reviewed by the City relative to compliance with this Specific Plan. If a proposed future land development project is not in compliance with this Specific Plan, then the City may choose to either decline or approve that project, or formally amend the Specific Plan.

Project Implementation

Infrastructure improvements shall be implemented on a fair share basis based on pro-rata parcel acreage as described in the Specific Land Use Plan Statistical Summary. In conjunction with submittal of the first tentative subdivision map the applicant shall formulate a program, approved by the Planning Director, which will enable infrastructure improvements to be paid for on a fair share basis for the entire Specific Plan area.

Implementation of the project in a coordinated fashion represents a significant challenge, given the current lack of an overall master developer and because the project is comprised of multiple property ownerships. It may be necessary for the City of Beaumont to take on a greater than customary management role to ensure that the project's many common elements (i.e., parks, flood control facilities and other infrastructure, entry treatments and landscape buffers) are developed in a timely and consistent manner. The City's Community Facilities District (CFD) may be employed as a financing and administrative entity for these purposes.

4.2 - APPLICATION PROCESSING

Development within the Project area shall be implemented through the City of Beaumont Specific Plan Review process as set forth in Section 17.36 of the City's Zoning Code. The implementation process described below provides for the mechanisms for review and approval of development projects within the Project area.

4.2.1 Development Review

Development Review is required for the adoption of the Specific Plan and concurrent Master Plot Plan for the project. Submittal of a Development Review Permit application shall be of a form and content consistent with the City of Beaumont requirements. The City Council shall review and concurrently approve the Specific Plan and Master Plot Plan.

After City approval of a Master Plot Plan, changes to the size, location, and design of any uses or structures may be approved by the Planning Director. Upon determination by the Planning Director that the proposed revision is in substantial conformance with the provisions of this Specific Plan, the revised plan shall be approved by the Planning Director or the Director's designee.

4.2.2 Specific Plan Zone

Section 17.36 of the City of Beaumont Zoning Code presents the intent of the Specific Plan Zone:

The provisions of Section 17.36, inclusive, shall be known as the SPA Specific Plan Area Zone, and are intended to accommodate Specific Plan Areas shown on the City of Beaumont General Plan or on those lands for which a specific plan has been adopted by the City Council pursuant to the Government Code. Application of the SPA Zone can create an unlimited variety of land uses in conformance with the General Plan. Upon adoption of the SPA designation as the Zone for a particular parcel(s), the designation shall include a density factor setting for the maximum number of dwelling units per residential acreage which shall not include acreage used for non-residential purposes.

Where a Specific Plan is not consistent with the General Plan, appropriate General Plan amendments must be considered concurrently with the Specific Plan.

An adopted specific plan supersedes the City zoning for the site area included in the proposed land use plan of the Specific Plan.

All other provisions of the City Zoning Code, which are applicable to the site, shall apply unless identified in the Specific Plan.

4.2.3 Division of Land Procedures (Subdivision Map Act)

Implementation of the Specific Plan would require the subdivision of land with a Parcel Map pursuant to California Government Code, Title 7, Division 2, Subdivision Map Act. When the subdivision of land is associated with the Specific Plan, a public hearing is required for the approval of subdivisions.

4.3 - SPECIFIC PLAN AMENDMENTS

The City of Beaumont Planning Director shall be responsible for administering the provisions of this Specific Plan in accordance with the provisions of the State of California Government Code, Subdivision Map Act, and the City of Beaumont General Plan and Zoning Ordinance.

4.3.1 Minor Amendments

Minor amendments include simple modifications to text or graphics that do not change the meaning, intent, or are contrary to any provision of the Specific Plan. Minor modifications may be accomplished administratively by the Planning Director and are appealable to the Planning Commission and City Council.

4.3.2 Major Amendments

Major modifications are amendments to exhibits or text that are intended to change the intent, development standards or other significant provisions of the Specific Plan. Major modifications require a Specific Plan Amendment and approval by the Planning Commission and City Council in accordance with requirements of the City's Zoning Code.

4.4 INTERPRETATIONS

Unless otherwise provided, any ambiguity concerning the content or application of the Noble Creek Vistas Specific Plan shall be resolved by the City of Beaumont Planning Director in a manner consistent with the goals, policies, purpose and intent established herein.

APPENDICES

APPENDIX A: LEGAL DESCRIPTION

EXHIBIT "A"

REORGANIZATION TO INCLUDE ANNEXATION 02-ANX-01
TO THE CITY OF BEAUMONT AND CONCURRENT
DETACHMENTS FROM THE RIVERSIDE COUNTY
WASTE RESOURCES MANAGEMENT DISTRICT
LAFCO NO. _____

BEING A PORTION OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SAN BERNARDINO BASE AND MERIDIAN, RIVERSIDE COUNTY, ALSO A PORTION OF THE NORTHWEST QUARTER CORNER OF SECTION 34 OF RECORD OF SURVEY BOOK 12, PAGE 36, RECORDED DECEMBER, 1939, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTERLINE INTERSECTION OF BROOKSIDE AVENUE AND BEAUMONT AVENUE AS IT NOW EXISTS;

THENCE SOUTHERLY ALONG SAID CENTERLINE OF BEAUMONT AVENUE SOUTH 00°17'19" WEST, A DISTANCE OF 5270.42 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID SECTION 34, SAID POINT ALSO BEING THE CENTERLINE INTERSECTION OF BEAUMONT AVENUE AND FOURTEENTH STREET;

THENCE WESTERLY ALONG SAID CENTERLINE OF FOURTEENTH STREET, NORTH 89°38'51" WEST, A DISTANCE OF 4371.53 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID SECTION 33, SAID POINT ALSO BEING THE CENTERLINE INTERSECTION OF FOURTEENTH STREET AND NOBLE CREEK CHANNEL AS SHOWN BY RECORD OF SURVEY ON FILE IN BOOK 51, PAGES 88 THROUGH 98, INCLUSIVE, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE NORTHERLY ALONG SAID CENTERLINE OF NOBLE CREEK CHANNEL NORTH 30°28'16" EAST, A DISTANCE OF 2107.73 FEET TO THE BEGINNING OF A TANGEN CURVE, CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 3000.00 FEET;

THENCE NORTHEASTERLY, ALONG SAID CURVE AND SAID CENTERLINE OF NOBLE CREEK CHANNEL, THROUGH A CENTRAL ANGLE OF 01°20'36" AN ARC LENGTH OF 70.34 FEET TO A POINT BEARING A RADIAL OF NORTH 89°11'08" WEST;

THENCE LEAVING SAID CENTERLINE OF NOBLE CREEK CHANNEL NORTH 01°17'38" EAST, A DISTANCE OF 3388.87 FEET TO A POINT ON THE NORTHERLY LINE OF SAID SECTION 33, SAID POINT ALSO BEING THE CENTERLINE INTERSECTION OF OAK VIEW DRIVE AND BROOKSIDE AVENUE;

THENCE EASTERLY ALONG SAID CENTERLING OF SAID BROOKSIDE AVENUE, NORTH 89°19'36" WEST, A DISTANCE OF 1921.60 FEET TO THE NORTHEAST CORNER OF SAID SECTION 33 AND NORTHWEST CORNER OF SAID SECTION 34;

THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID SECTION 34 NORTH 89°56'46" EAST, A DISTANCE OF 1294.80 FEET TO THE **POINT OF BEGINNING**:

THE ABOVE DESCRIBED PARCELS OF LAND CONTAINS 417.44 ACRES, MORE OR LESS.

AS SHOWN ON EXHIBIT "A" ATTACHED HERETO MADE A PART THEREOF.

DENNIS W. JANDA, PLS 6359
EXP. 12/31/06
DATE _____

