

THE VILLAGE

Beaumont, CA.

Sign Program

Amended 12/12/2023

PREPARED BY:



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www.encoreimage.com

STATE LICENSE #947727

Beaumont Village - PP 2019-0222
CUP 2017-0010, CUP 2019-0037,
CUP 2019-0038,
PM 2019-0006, PM 37440,
APN's 404-190-001 & 404-190-003

PROJECT DIRECTORY

OWNER: SANTIAGO HOLDINGS LLC
9454 WILSHIRE BLVD.
SUITE 650
BEVERLY HILLS, CA 90212

ARCHITECT: PERUZZI ARCHITECTS
8800 VENICE BLVD.
SUITE 317
LOS ANGELES, CA 90034

SIGN CONSULTANT: ENCORE IMAGE INC.
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CLAUDE ELLENA
ONTARIO, CA. 91762
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TABLE OF CONTENTS

1..... COVER PAGE
2..... TABLE OF CONTENTS
3..... PURPOSE AND INTENT / GENERAL REQUIREMENTS
4..... SIGN DESIGN GUIDELINES / OTHER SIGNAGE / PROHIBITED SIGNS
5..... CONSTRUCTION REQUIREMENTS
6..... SHOP BUILDING ELEVATIONS
7..... SHOP TENANT
8..... PAD TENANT
9..... CENTER I.D MONUMENT SIGN
10..... TENANT MONUMENT SIGNS
11..... GAS PRICING MONUMENT SIGN
12..... SITE PLAN

The Village SIGN PROGRAM

The intent of this Sign Criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing signage environment at the above mentioned project. Adherence to this Sign Criteria shall be rigorously enforced and any nonconforming signs shall be removed by the tenant at their expense, upon demand by the landlord or the City of Beaumont. Exceptions to these standards shall be reviewed by the landlord, and the City of Beaumont to determine their validity. The City of Beaumont Development Code governs all signage not addressed in this sign program.

A. GENERAL REQUIREMENTS

1. Prior to applying for a sign permit the tenant shall submit to the landlord for approval, four copies of scaled drawings indicating the size, location, design and color of the proposed sign, with manufacturing and installation details and the width of the leased store front.
2. Prior to manufacturing, the tenant shall submit to the City of Beaumont Planning Department at least three copies of the sign drawing approved by the Landlord and obtain a valid sign permit from the Building Department.
3. The tenant shall pay for all of their signs, installation, (including final connection), permit labor and permit fees.
4. The tenant shall be responsible for fulfillment of all the requirements of this sign criteria.
5. Sign contractor will repair any damage caused by his work, and tenant shall be fully responsible for the operations of his sign contractor(s).
6. Upon termination of the lease, the tenant shall be responsible for removing their sign, patching any holes in the fascia, and painting them to match the surrounding wall color in a manner acceptable to the Landlord. If the tenant has space on a pylon or monument sign, the tenant will replace their sign panel(s) with a blank panel(s) to match the color and texture.
7. Promotional or special event signs, banners and flags shall be in conformance with the City of Beaumont Sign Ordinance and must be approved by the Landlord prior to submission to the City.
8. No other types of signs except those specifically mentioned within this criteria will be allowed without prior approval from the Landlord and the City.
9. It is understood that there may be the need for additional signs for information and directional purposes. These signs will be reviewed by the Landlord and the City Planning Department for consistency of design with the Shopping Center prior to installation.
10. Any sign on which stains or rust appear, or which becomes damaged in any way, or which in any manner whatsoever is not maintained properly, shall be promptly repaired by tenant. Landlord may remove and store, at tenants expense, any signs not maintained properly or not in accordance with this sign program.

SIGN DESIGN GUIDELINES FOR ALL SIGNS

1. Signs shall be designed in a manner compatible with the shape and layout of the architectural features of the building. Signs shall be consistent with the scale and proportions of the building elements within the facade.
2. Incorporating logos and/or images to enhance the signage identity is encouraged. Designs and colors to be approved by the landlord and the City of Beaumont. Corporate colors and logos shall be allowed with Landlord and City approval.
3. Wall signs shall not have any visible attachments unless the attachments make an intentional statement or are architectural elements.
4. All exterior (exposed) sign surfaces shall be primed and painted or pre-coated.
5. Wall signs shall consist of individual, interior-illuminated, plastic faced metal channel letters. Reverse channel letters are allowed with indirect and direct lighting. Can signs as logos may be allowed on a case by case basis by the Landlord and City of Beaumont, providing it is a registered trademark or symbol commonly used by the applicant.
6. Wall sign placement must be centered both vertically and horizontally within the sign fascia area.
7. Sign square footage shall be calculated by drawing up to four straight lines around copy and logo.
8. Freestanding signs shall be placed a minimum of 300' apart. They shall be placed in a planter or landscaped area with a minimum of 125 square feet. Pylon and monument signs shall be a minimum of five (5) feet from any right-of-way, sidewalk or drive way.

OTHER SIGNAGE:

FREE STANDING SIGNS:

A total of two (2) multi-tenant monument signs, (1) center I.D. monument & two (2) gas price monument signs will be allowed for this property (refer to Site Plan for locations). These double-faced freestanding signs herein described will be located in planters or landscaped areas with a minimum 125 square feet. See elevation drawings for dimensions.

DIRECTIONAL SIGNS:

Directional signs are allowed with a maximum of ten (10) square feet of area and four (4) feet of overall height. Such directional signs shall only contain information necessary for on-site circulation, parking, and information. No advertising is allowed. Tenant identity will be allowed. All directional signs must be approved by the Landlord prior to submission to the City of Beaumont.

MENU BOARD SIGNS:

Menu boards located on the interior driveways of drive-through facilities shall not exceed forty two (42) square feet in area and seven (7) feet in overall height. Speakers shall face away from residential property. No more than three (3) menu boards per drive-through shall be permitted.

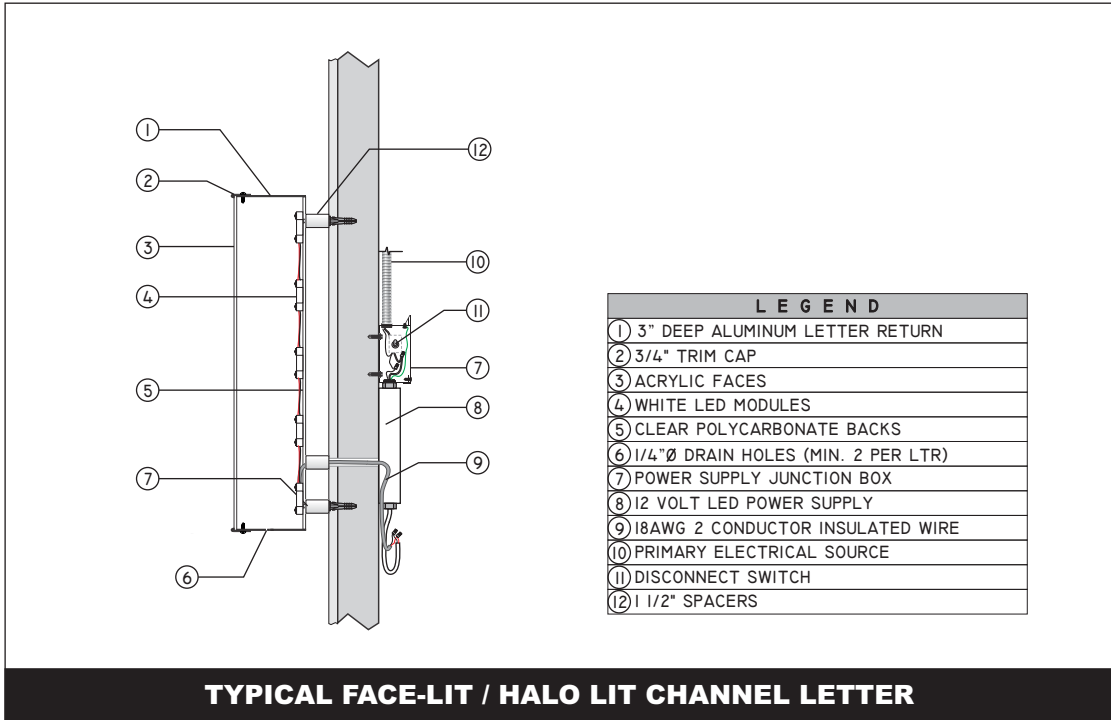
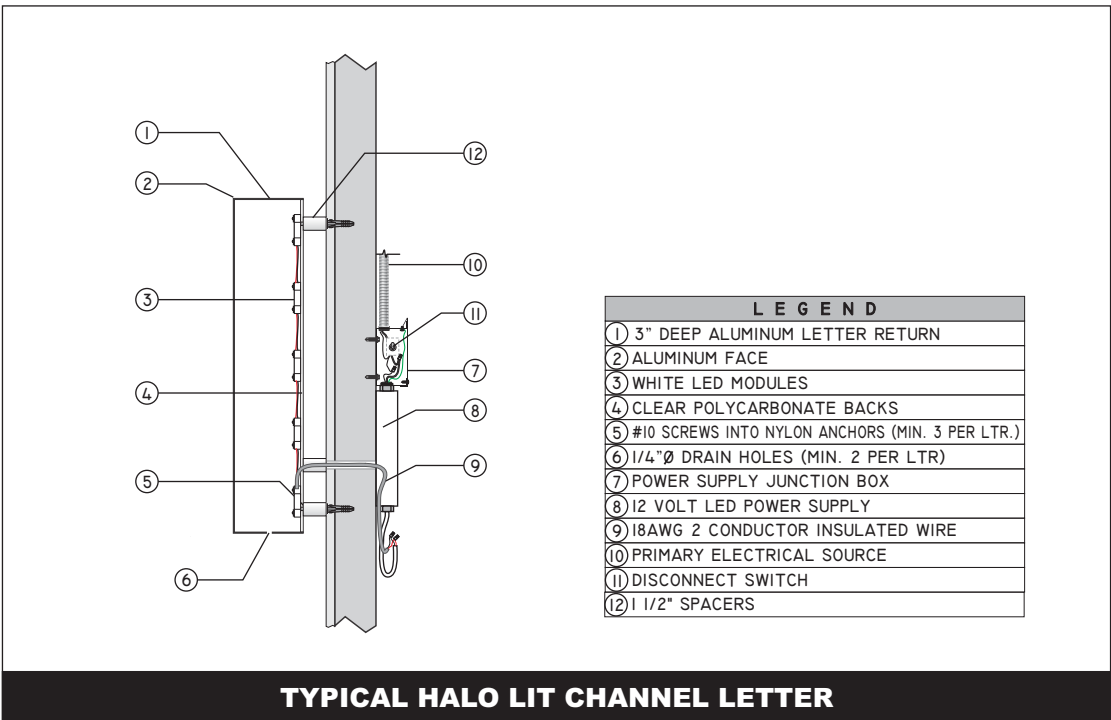
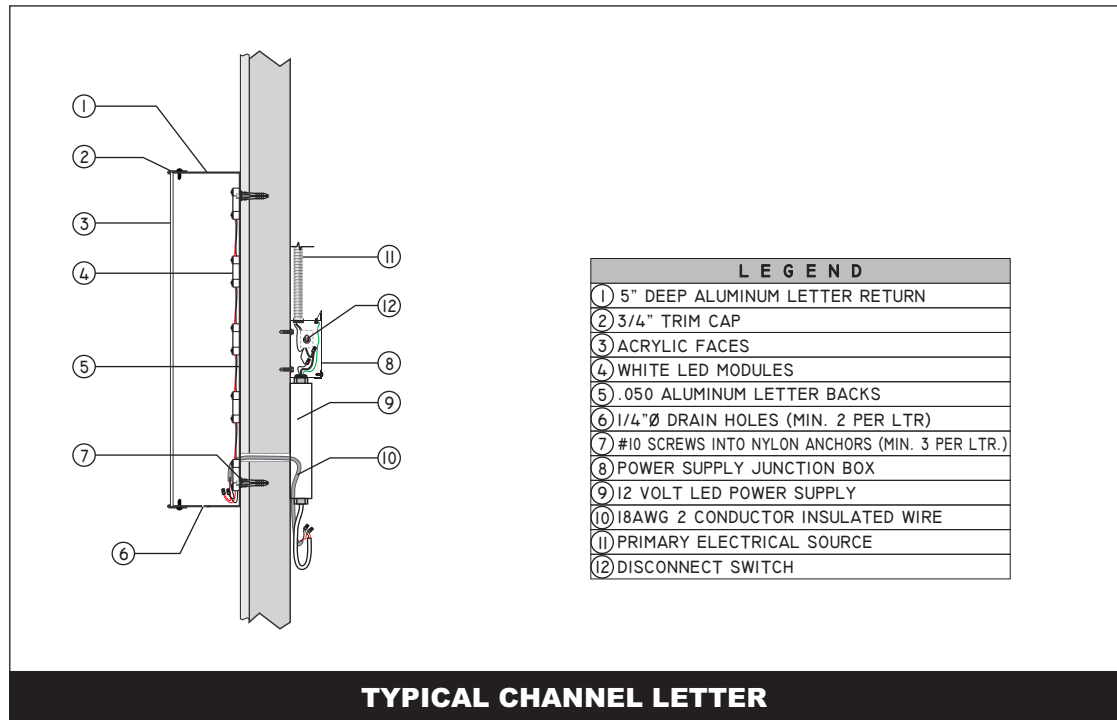
AWNING SIGNS:

No sign affixed to or incorporated into an awning shall exceed ten (10) percent of the awning elevation.

PROHIBITED SIGNS

Signs painted directly on the wall.
Window painted signs.
Roof or ground inflated balloons / figures.
A-frame signs.
Advertising flag poles.
Signs affixed to trucks, trailers or other vehicles that advertise or promote the activity of the business.
Signs deemed to be immoral, obscene, or unlawful.
Signs on raceways.

L.E.D. DIRECT AND INDIRECT LIGHTING OPTIONS





TYPICAL SHOP BUILDING ELEVATION

SCALE: N.T.S

SHOP TENANT

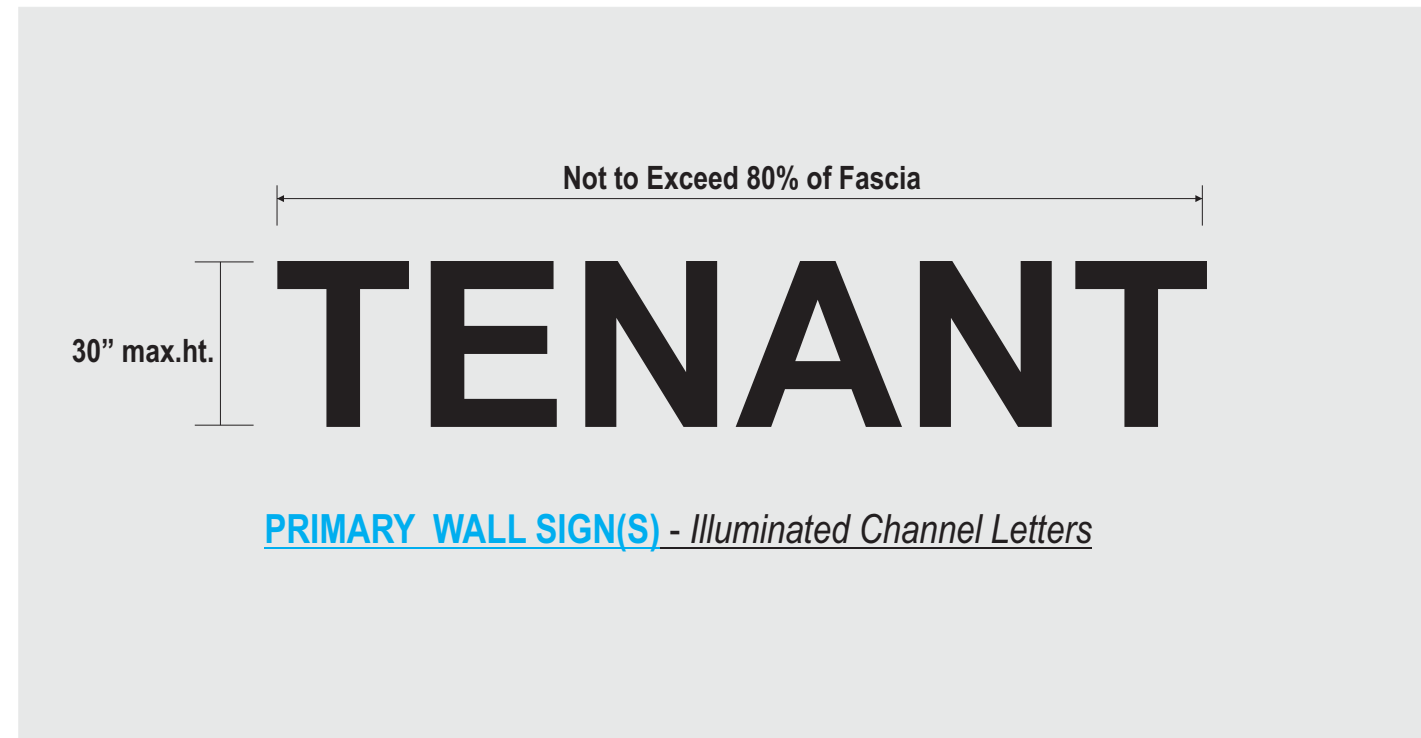
WALL SIGNS

Tenants are allowed one primary wall sign per frontage, not to exceed 80% of the portion of the facade or building element where it is placed. Maximum of three (3) wall signs total per end tenant.

Sign Copy:

Letter size shall be proportional to the background and overall sign size.
30" Maximum letter height.

Sign Area = 1 square foot of signage per lineal foot of lease frontage per building elevation.



PAD TENANT

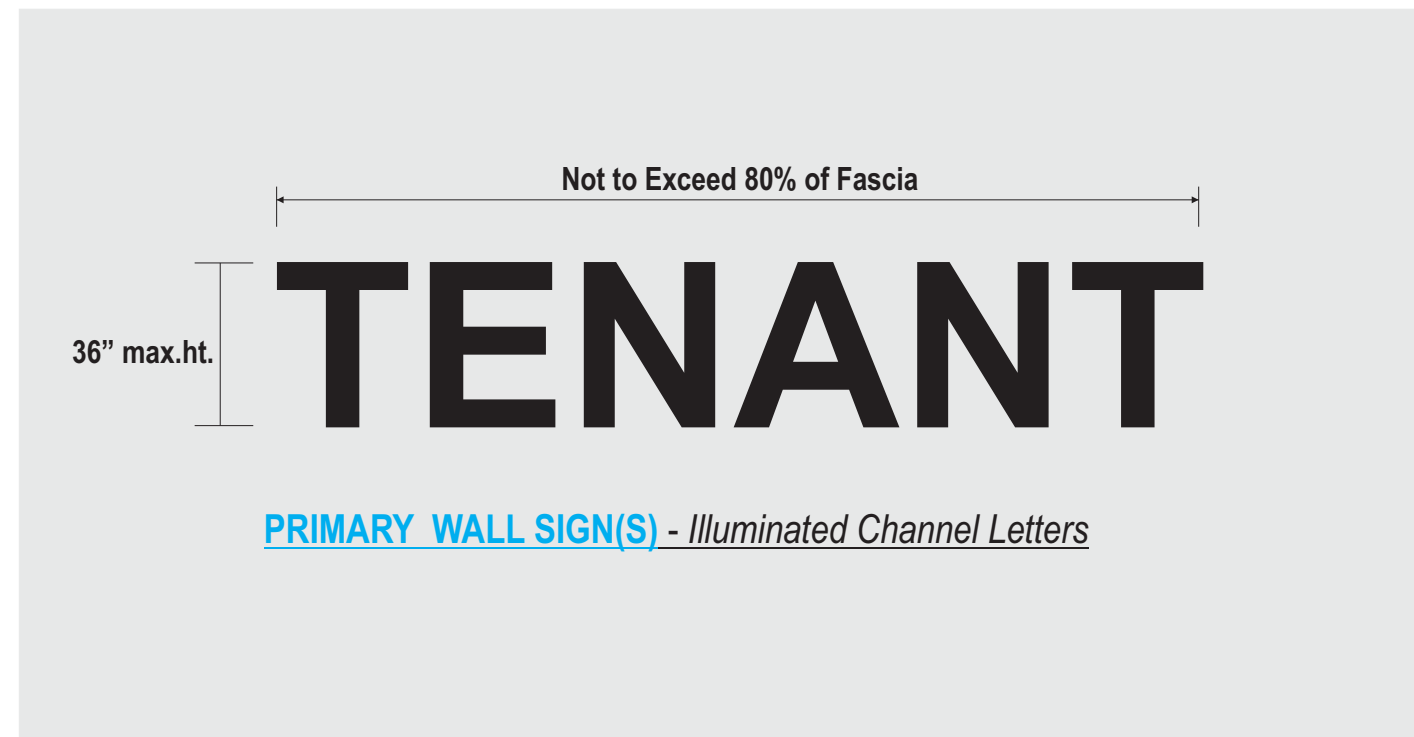
WALL SIGNS

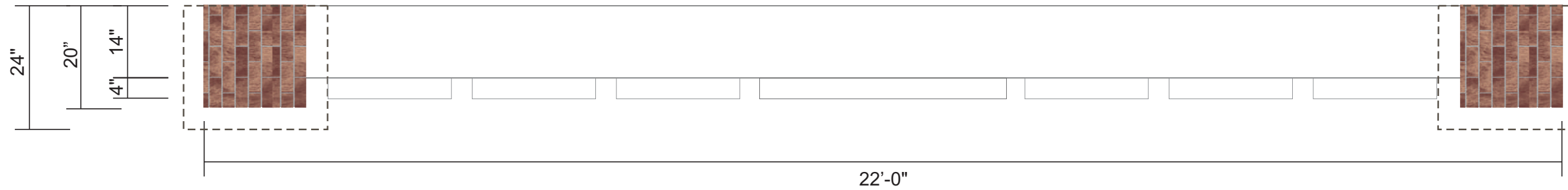
Tenants are allowed one primary wall sign per frontage, not to exceed 80% of the portion of the facade or building element where it is placed. Maximum of four (4) wall signs for pad tenants.

Sign Copy:

Letter size shall be proportional to the background and overall sign size. 36" Maximum letter height for a single-line copy and a maximum overall height of 48" feet for a double-line copy.

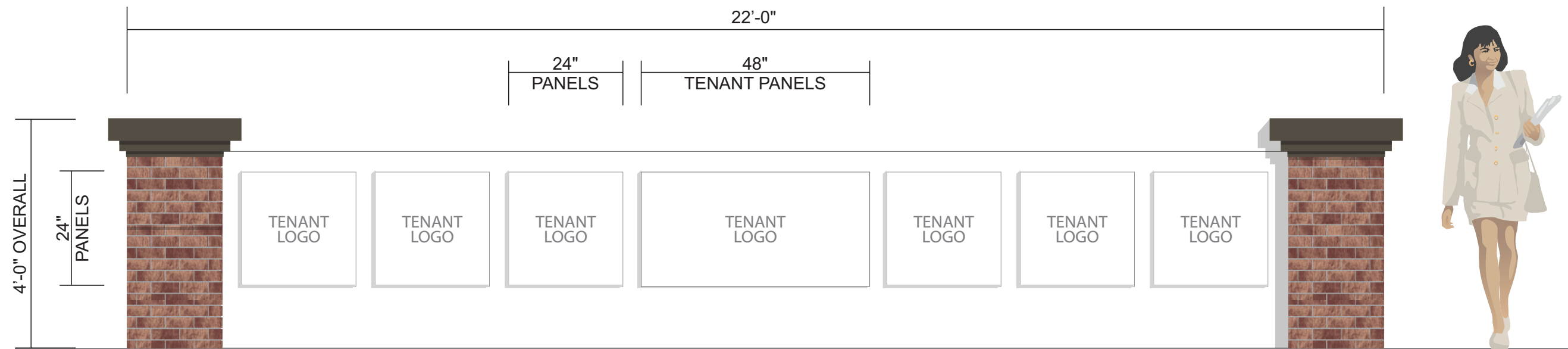
Sign Area = 1.5 square foot of signage per lineal foot of lease frontage per building elevation.





TOP VIEW

SCALE: 1/2" = 1'-0"



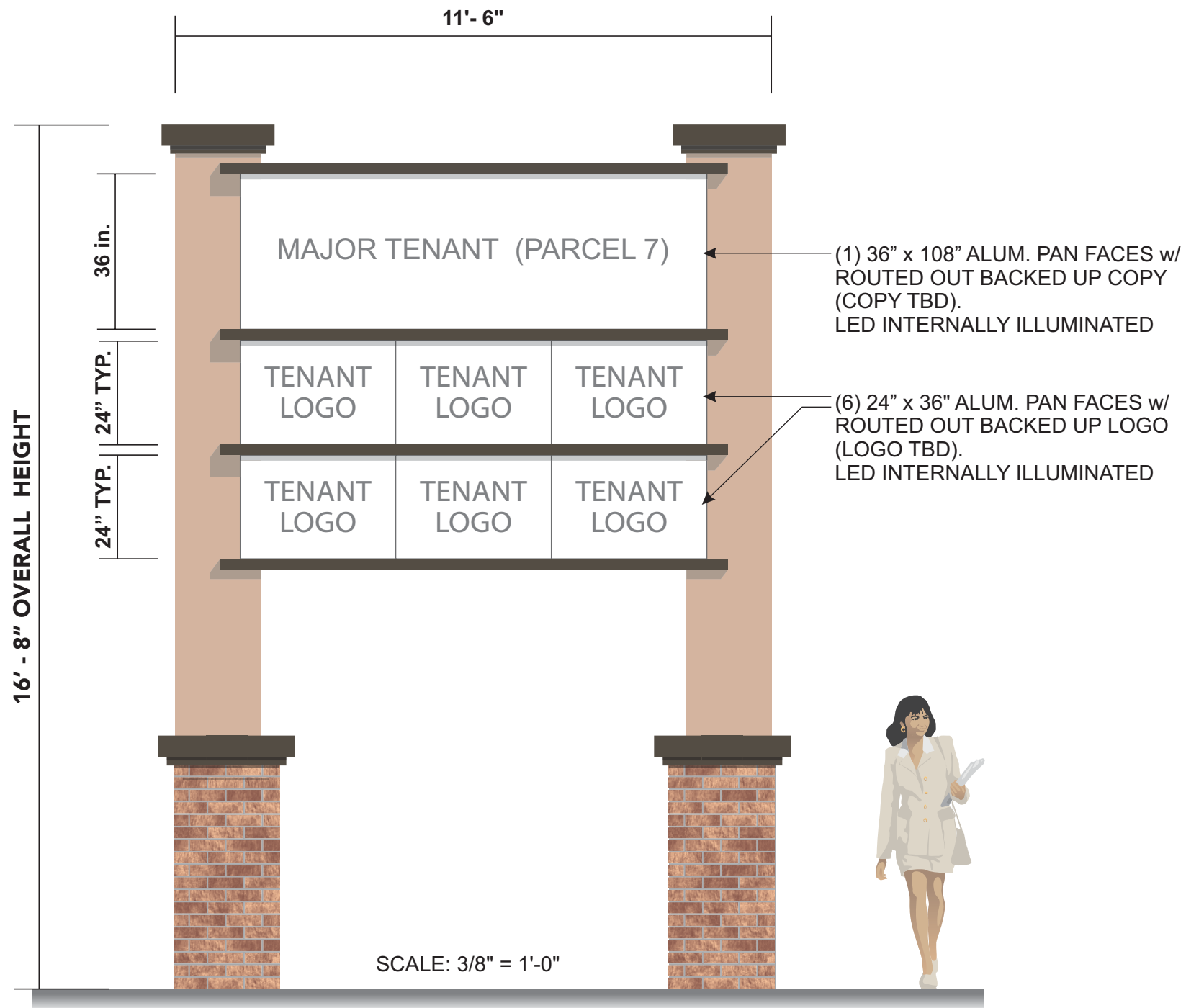
FRONT VIEW

SCALE: 1/2" = 1'-0"





- A** **ONE (1) SINGLE FACED ILLUMINATED CENTER I.D MONUMENT SIGN** w/
 (1) 24" x 48" x 4" DEEP LED ILLUMINATED ALUM. ANCHOR TENANT LOGO PANEL
 (6) 24" x 24" x 4" DEEP LED ILLUMINATED ALUMINUM TENANT LOGO PANELS

MATERIAL/PAINT SPECIFICATIONS

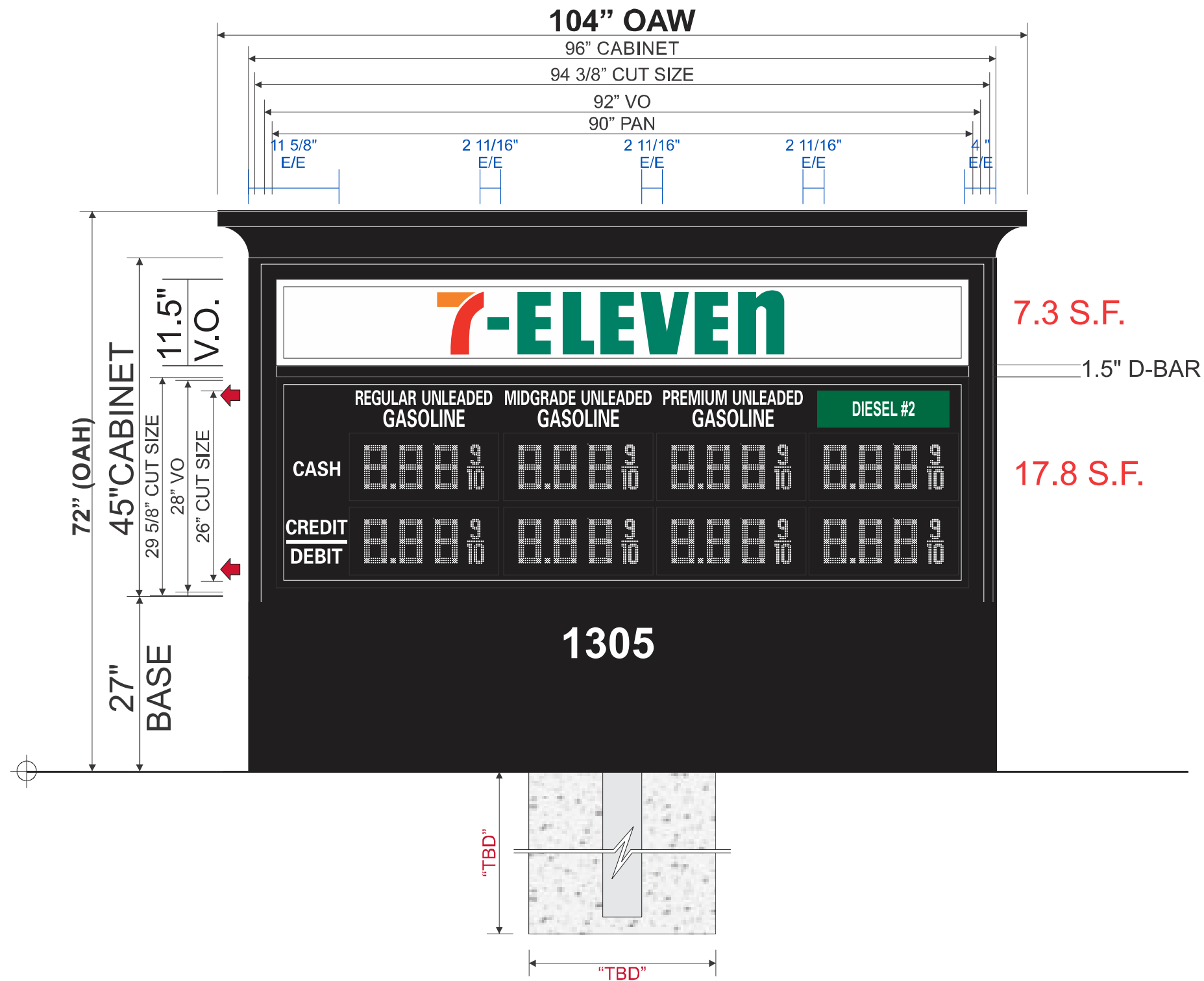
	ALUMINUM CORNICE PAINTED DUNN EDWARDS DEC 756 WEATHERED BROWN (LIGHT TEXTURE FINISH)
	ALUMINUM BACKGROUND AND PANELS PAINTED WHITE (TEXTURED BACKGROUND, SATIN PANELS)
	2½" X 8" CORONADO SPECIAL USED BRICK "RED USED" WITH CUSTOM BUILDING PRODUCTS #101 QUARTZ GROUT



MATERIAL/PAINT SPECIFICATIONS

-  ALUMINUM CORNICE AND HALO LETTERS PAINTED DUNN EDWARDS DEC 756 WEATHERED BROWN (LIGHT TEXTURE FINISH)
-  ALUMINUM BACKGROUND AND PANELS PAINTED WHITE (TEXTURED BACKGROUND, SATIN PANELS)
-  ALUMINUM PAN FACES PAINTED DUNN EDWARDS DE5262 FIELD OF WHEAT (TEXTURED FINISH)
-  2½" X 8" CORONADO SPECIAL USED BRICK "RED USED" WITH CUSTOM BUILDING PRODUCTS #101 QUARTZ GROUT

B C TWO (2) LED ILLUMINATED DOUBLE FACED TENANT PYLON SIGNS
 .125 ALUMINUM PAN FACES WITH ROUTED OUT AND BACKED UP COPY. (TENANT NAMES AND LOGOS TBD)



7.3 S.F.

1.5" D-BAR

17.8 S.F.

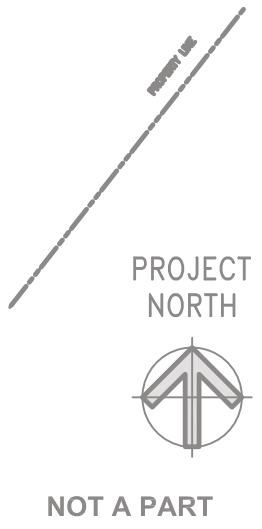
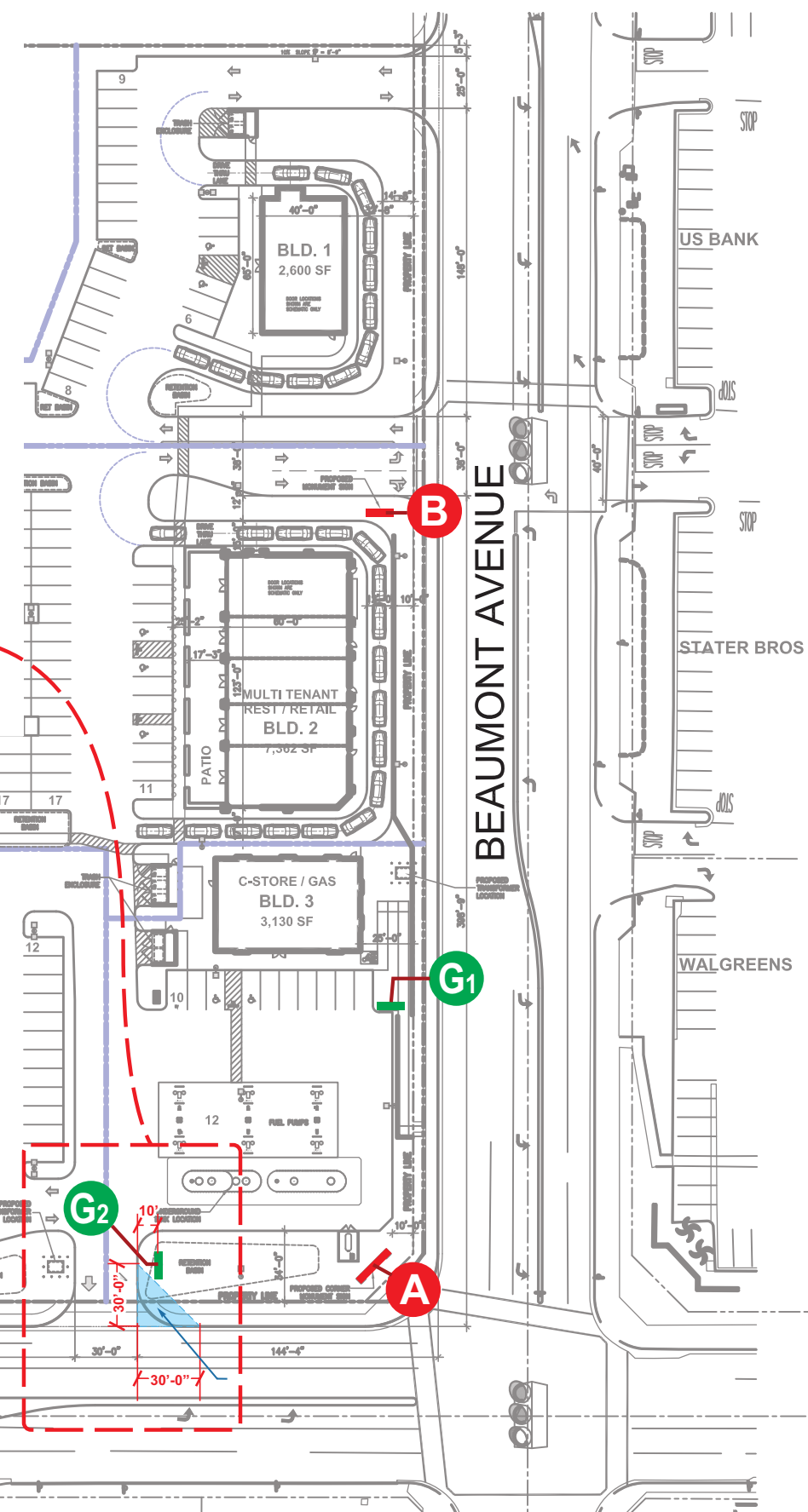
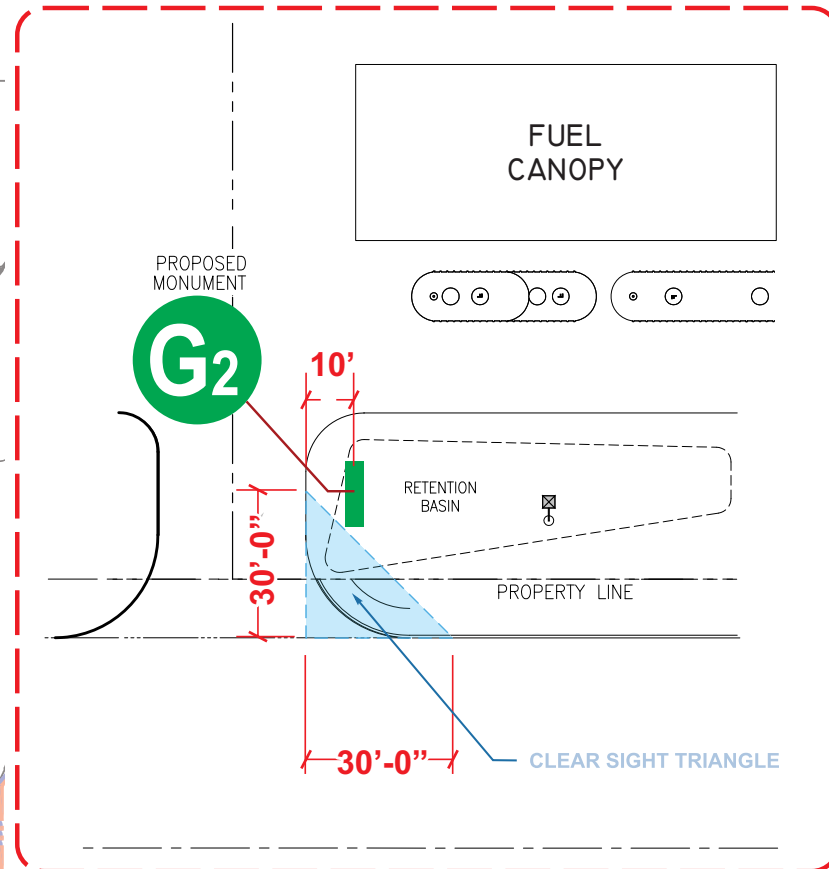
Code Information:	
Formula: Monument signs allowed up to 32 sf in area	
Allowed:	30.0 sqft
Proposed:	30.0sqft
Setback Information:	
As approved. Within property lines and out of ROW.	
Height Information:	
Allowed:	6'- 0"
Proposed:	6'- 0"

Max Sqft: 45 sqft.
 Side Setback: 25'-0"
 Sight Triangle: 15'-0"
 Max Width: 16'-0"

125 SF OF LANDSCAPING IS REQUIRED BY CITY - PROVIDED BY OTHERS

- G1 G2 TWO (2) ILLUMINATED DOUBLE-FACED MONUMENT GAS PRICING SIGNS.**
- ALUMINUM CABINET - PAINT TRICORN BLACK - L.E.D. ILLUMINATED
- LOGO PANEL: .177" WHITE POLYCARBONATE w/ FIRST SURFACE FILM LOGO DECORATION.
- FUEL PRICE FACES: PAN FORMED CLEAR POLYCARBONATE BACK SPRAYED BLACK w/ WHITE COPY
- ADDRESS: 1/8" THICK ALUMINUM F.C.O. NUMERALS

PROJECT SUMMARY	
LOT AREA:	APPROX. 312,150 S.F. – 7.16 ACRES
BUILDING AREAS	
BUILDING 1:	2,600 S.F.
BUILDING 2:	7,362 S.F.
BUILDING 3:	3,130 S.F.
BUILDING 4:	2,800 S.F.
BUILDING 5:	3,605 S.F.
BUILDING 6:	2,304 S.F.
BUILDING 7:	18,000 S.F.
TOTAL BUILDING AREA:	39,801 S.F.
PARKING REQUIREMENTS	
BUILDING 1 @ 1 PER 100SF:	26 SPACES RQD
BUILDING 2 @ 1 PER 100SF FOR 3,800:	38 SPACES RQD
BUILDING 2 @ 1 PER 200SF FOR 3,562:	18 SPACES RQD
BUILDING 3 @ 1 PER 200SF:	16 SPACES RQD
BUILDING 4 @ 1 PER 100SF:	28 SPACES RQD
BUILDING 5 @ 1 PER 200SF FOR 600:	03 SPACES RQD
BUILDING 5 @ 0 PER 000SF FOR 3,005:	00 SPACES RQD
BUILDING 6 @ 1 PER 100SF:	24 SPACES RQD
BUILDING 7 @ 1 PER 200SF:	90 SPACES RQD
TOTAL PARKING REQUIRED:	243 SPACES RQD
TOTAL PARKING PROVIDED:	258 SPACES
PARKING RATIO PROVIDED:	6.58 SPACES PER 1,000 S.F.



THE VILLAGE