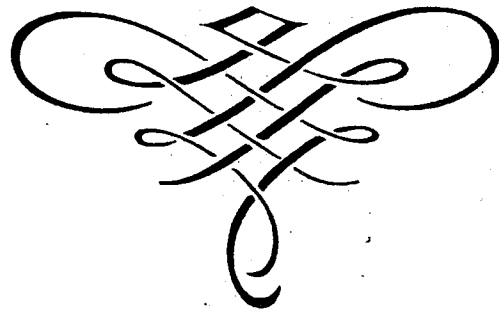


Heartland Specific Plan



Beaumont, California

HEARTLAND SPECIFIC PLAN

PREPARED FOR:

**HEARTLAND CALIFORNIA BEAUMONT LIMITED PARTNERSHIP
4650 Columbia Center
701 Fifth Avenue
Seattle, Washington 98104**

and

**THE CITY OF BEAUMONT
550 East Sixth Street
Beaumont, California 92223**

May, 1994

PARTICIPATING CONSULTANTS

PLANNING AND DESIGN

Park/Miklich Associates, Architecture and Planning -- Richard Miklich
James and Associates, Planning and Development Consultants -- Dave James, REA

ENVIRONMENTAL

Envision, Environmental Services, Primary Consultants -- Chris Terzich
Tierra Madre, Consulting Biologist -- Jack Easton
Christopher E. Drover, Ph.D., Archaeology -- Chris Drover
Harmsworth Associates, Hazardous Materials Evaluation
Heritage Resources Consultants, Paleontology -- Paul Langenwalter

ENGINEERING

Trans-Pacific Consultants, Civil Engineers -- Jei Kim
Geotechnical and Environmental Engineers Inc., Soils & Geology -- Chris Krall
Linscott, Law, Greenspan, Consulting Engineers, Traffic -- Jay Nelson
Mestre Greve, Associates, Acoustical Study -- Fred Greve

GRAPHICS

Toadly Graphic -- Roger White and Sara Vandenberg
Park/Miklich Associates, Architecture and Planning -- Richard Miklich

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I. Introduction

A. Location and Overview

From a regional perspective, the Heartland Specific Plan site is located in north-central Riverside County in the San Gorgonio Pass area between the central Inland Empire, consisting of the metropolitan Riverside/San Bernardino County Area to the west, and Coachella Valley to the east. See Exhibit I-1 Regional Location Map. From a local vicinity perspective, Heartland is located in the southwestern portion of the City of Beaumont north of State Route 60 (SR 60) just west of its point of convergence with Interstate 10 (I-10). San Timoteo Canyon Road defines the subject site's northern boundary with the future extension of Jack Rabbit Trail defining the site's westerly boundary. See Exhibit I-2, Vicinity Map.

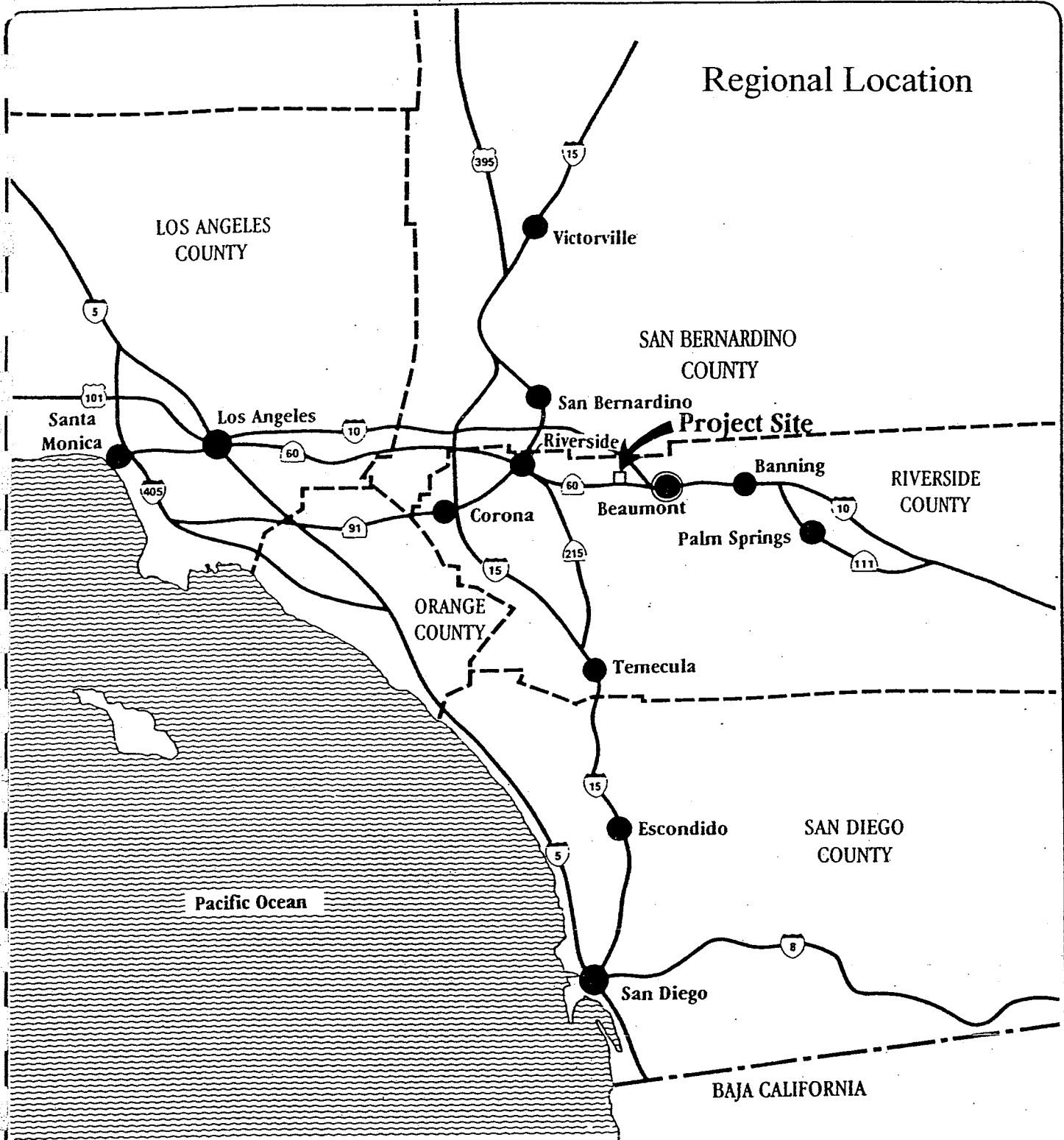
The Heartland Specific Plan Site consists of 417.2 acres of undeveloped land that has been historically used for dry land farming activity, which continues to date. As proposed, Heartland will contain a mix of land uses developed through the Specific Plan/Master Planned Community process consisting of single-family residential neighborhoods of varying densities, an industrial park component, a neighborhood commercial center, an elementary school site (K-5) and passive and active open space/recreational amenities.

B. Document Purpose

The purpose of the Specific Plan document is to address in adequate detail the land use issues associated with the development of the Heartland property and to ensure that the subject site develops in a comprehensive and coordinated fashion with adequate consideration for infrastructure and public facilities and services. This approach has been selected over the alternative of developing the subject property in a piecemeal fashion. This effort has been based on substantial studies, including but not limited to, geotechnical, biological, civil engineering, hydrology, archeological, etc., towards establishing a comprehensive assessment of the subject site's development constraints and opportunities. In both text and illustration, this document depicts the character and configuration of the various components comprising the Specific Plan and establishes a foundation document that will govern further entitlements and development activity of the Heartland property. It is in this capacity that the Specific Plan document will serve to refine the City of Beaumont's General Plan designation relative to the subject site in terms of appropriate land uses, density, intensity of use, development standards, etc.

Under separate cover, the Heartland Specific Plan is accompanied by an Environmental Impact Report (EIR) and supplemental documents and

Regional Location

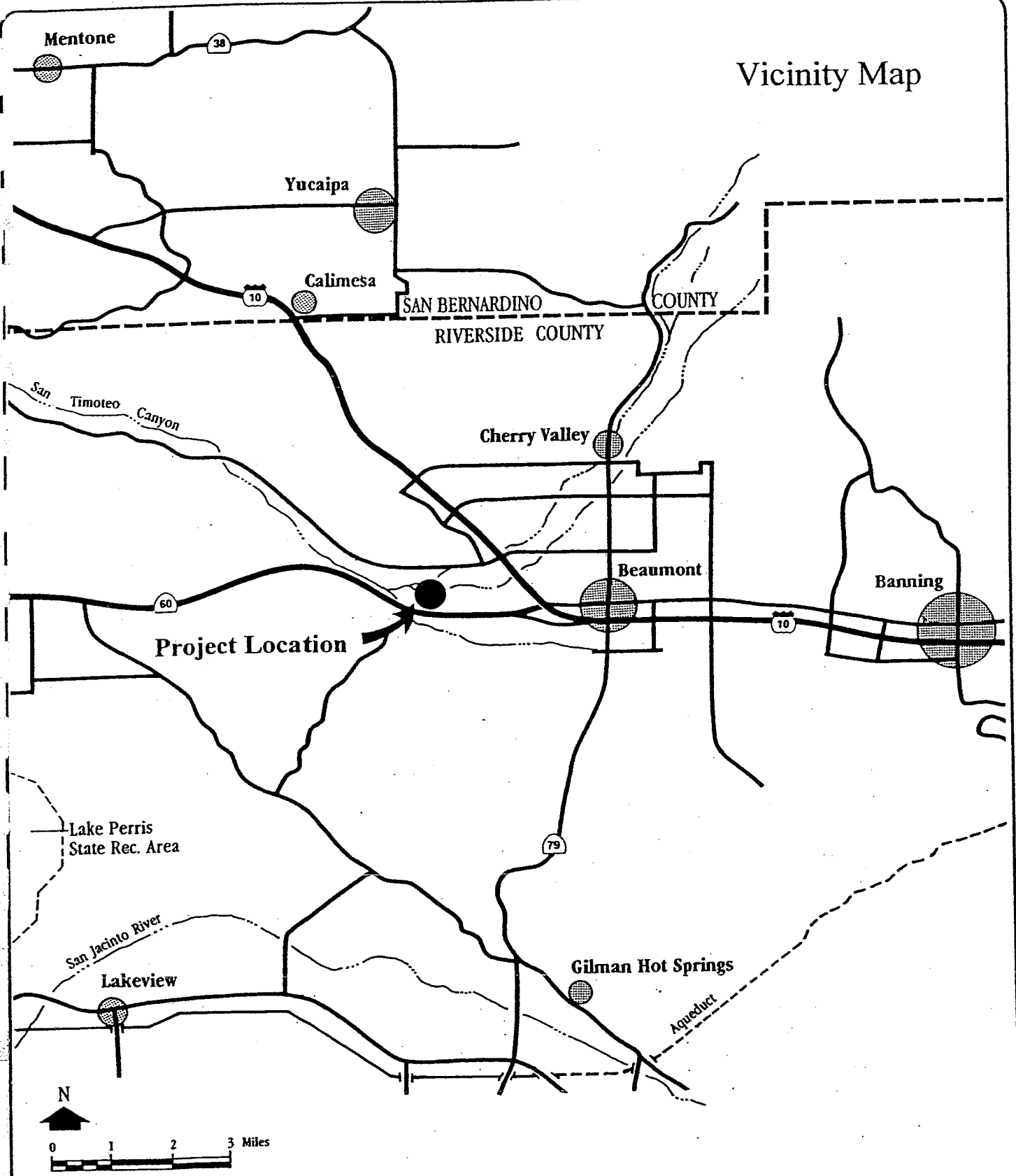


Heartland Specific Plan Beaumont, California

HEARTLAND

Exhibit No.: I - 1

Vicinity Map



Heartland Specific Plan
Beaumont, California

HEARTLAND

Exhibit No.: I - 2

special studies which address the environmental impacts associated with the proposed project in addition to establishing appropriate levels of mitigation to reduce said impacts to the greatest extent possible. Additionally, a development agreement has been prepared and adopted, in conjunction with the establishment of Community Facilities District 93-1, which defines the contractual relationship between the landowner (Heartland) and the City of Beaumont relative to the security of General Plan-level entitlements and the ability to develop the subject site as approved. Together, these three documents provide the City of Beaumont planning staff, elected officials, and the general public with a complete understanding of the project, its associated environmental impacts, and the methodology for mitigating potential impacts associated with the project.

C. Authority and Scope

Section 65450 of the California Government Code grants local planning agencies the authority to prepare a specific plan of development over a given piece of property. Consistent with this authority, the City of Beaumont has implemented the specific plan process in consideration of past proposed projects. In this context, Section 17.14.015 of the Beaumont Municipal Code states:

"Specific plans, and amendments thereto, shall be adopted in accordance with the provisions of this title and of Section 65450 et. seq. of the Government Code, as now written or hereafter amended. All uses established pursuant to an applicable specific plan shall be subject to all of the conditions and restrictions set forth in the Specific Plan regardless of the underlying zone, including, but not limited to, density and intensity of use, setbacks, heights, area, and open space."

An environmental assessment of the proposed Heartland Specific Plan has been prepared by the City of Beaumont, resulting in a Notice of Preparation (NOP) for an EIR. This effort also included a description of potential adverse impacts which needed to be addressed in greater detail through the EIR process. The NOP was distributed on June 8, 1993, to the State of California Clearinghouse, responsible agencies, and other interested parties. The objective of the NOP process is to identify and determine the full range and scope of environmental issues of concern to others, i.e., individuals, organizations, responsible agencies, etc., so that issues can be fully addressed in the Heartland EIR and supplemental support documents and special studies.

D. Development Plan Process

The Heartland Specific Plan represents an initial and major component in a multi-step process that will culminate in the development of the Heartland

Community. A summary of the various documents that will contribute to this first major step in the entitlement process follows.

1. LEGAL ENTITLEMENTS PROVIDED BY THE SPECIFIC PLAN.

The Specific Plan is a legal document and planning tool that provides the City of Beaumont and the project proponents (Heartland) or their successors in interest with guidelines for development based upon the plans and standards set forth therein. The Specific Plan in this context will serve to refine the City of Beaumont's General Plan designation applied to the Heartland property. In this regard the plan establishes a pattern and density of land use as articulated in Section 3 of this Specific Plan document. The Specific Plan establishes a circulation plan whereby streets and roads are located and sized based on traffic patterns and peak hour demands. A public facilities plan indicating what facilities are needed to accommodate the Heartland Community and the most appropriate area within the plan to locate said facilities. A landscaping plan for the community is another element of the Specific Plan, prepared in conjunction with a recreation and conservation plan that designates certain areas as natural/passive open space and active/usable open space.

2. ENVIRONMENTAL IMPACT REPORT.

Prior to adoption/approval of the Specific Plan, a Final Environmental Impact Report (FEIR) must be certified by the City of Beaumont, acting in the capacity as the lead agency. The final EIR will be prepared in accordance with the California Environmental Quality Act (CEQA), towards evaluating potential environmental impacts associated with the development of the Heartland property as proposed. This effort will also provide measures by which to mitigate these impacts to the greatest extent possible. The FEIR document will also discuss potential project alternatives, such as increased scope, decreased scope and the mandatory no-project alternative. Impacts associated with each of these alternatives in turn will also be evaluated in a very summarized format. The FEIR will also identify all remaining unavoidable adverse environmental impacts for which a statement of overriding consideration from the lead agency will be required, if any such unavoidable significant impacts are identified.

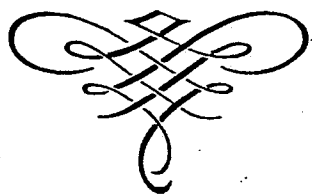
The Environmental Impact Report will evaluate the ultimate impacts of the development of the Heartland Specific Plan based upon the most definitive project data available at the time the Final EIR is certified. Pursuant to the State EIR guidelines, subsequent project activities, such as subdivision maps and other discretionary approvals, must be evaluated against the previously certified FEIR through the initial study/environmental assessment process. The initial study/environmental assessment in turn will lead to either a positive declaration (subsequent EIR) or a negative declaration. If the City of Beaumont can make a finding that no new effects would occur as a result of these subsequent project approvals, the City could approve subsequent proposals with a determination that associated environmental impacts fall

within the scope of the original and previously certified FEIR and as such no new environmental documents would be required. The City of Beaumont also has the authority to incorporate feasible mitigation measures or project alternatives suggested in the Final EIR into the subsequent project approvals. It is the intent of the project proponent to submit an environmental document to the City of Beaumont, as lead agency, containing adequate information towards processing and approval of the proposed Specific Plan, Development Agreement, Change of Zone, Mitigation Monitoring Program and other subsequent and related approvals.

E. Organization of the Report

Including the introduction (Section 1), the Specific Plan is organized into seven sections and one appendix, dealing with the landscape plant palette. Section 2 briefly discusses existing conditions, including the market environment, and describes the characteristics of the land and the public facilities and infrastructure in terms of constraints and opportunities prescribing project planning and design. Against this background, Section 3 presents the body of the Specific Plan in terms of development plans and policies in the detail appropriate to their incorporation as the governing body of land use regulations for the Heartland Specific Plan. Section 4 focuses the analysis to the individual planning areas in terms of development regulations in order to present a clearer picture of the character of each planning area and their associated land uses. Section 5 then sets forth the regulations governing each land use, while Section 6 discusses the administration and implementation procedures necessary to put the plan into effect. Finally, Section 7 discusses the consistency of the Heartland Specific Plan with the General Plan of the City of Beaumont.

Chapter II
Existing Conditions



II. Existing Conditions

The Heartland Specific Plan has been designed in response to the subject site's physical and environmental opportunities and constraints. In addition various human imposed factors such as area development trends, market conditions, zoning, general plan designations, etc., have also influenced the design of the Heartland Specific Plan. In compiling these natural and human imposed variables, a multi-disciplined research effort was initiated which produced relevant base line data in terms of market opportunities, existing and adjacent land use patterns, topography, geology, hydrology, biology, paleontology, archaeology and availability of public facilities and services. This section of the Specific Plan document will provide a brief overview of the above referenced variables and establish the foundation from which the Heartland land use plan has evolved.

A. Market Opportunities

Riverside County in general, and western Riverside County and the Beaumont/Banning area in particular, are expected to capture an increasing share of Southern California's employment growth and concomitant housing demand over the next two decades. This condition is attributed to several factors including, but not limited to, diminished new housing supplies and inaccessibility of existing housing stock in competing markets such as Orange, San Diego and Los Angeles Counties. This condition will be further influenced by the closing of Norton Air Force Base and significant reductions to March Air Force Base and the imminent conversion of these resources to private industry. In addition, the accelerated migration of industry to the Inland Empire and the resulting expansion of local employment to service the rapid population increases in western Riverside County have also had a tremendous influence on the area's residential market.

The Heartland Specific Plan has responded to these market forces by providing a broad spectrum of residential housing opportunities within the "single family" detached product line. The breadth and diversity of the market is an essential consideration for a large project, if consistent absorption is to take place over a reasonable period of time. As such, the Heartland Specific Plan offers a diverse housing inventory in response to regional market factors which will allow the project sponsor to maintain a viable project through the inevitable market changes.

B. Existing On-Site and Surrounding Land Uses

The subject site is vacant with the exception of a ranch/farm house and appurtenant facilities which are centrally located on the property just below a well defined east/west oriented ridge line. Further, it should be noted that

the structure lacked any historic significance and represented an attractive nuisance and a physical liability. As such the structure was razed. It should be noted that the ranch house structure was intentionally burned by the Riverside County Fire Department as part of a recent training exercise and as such all that remains of the structure is the foundation. The subject site has been historically used for dry land farming and seasonal grazing. This activity continues to the present and is anticipated to continue up until the Specific Plan is physically implemented. In addition, there are areas exhibiting significant scarring due to off road recreational vehicle activity. A segment of the Southern Pacific Transportation Railroad skirts the subject site's entire northern boundary with State Highway 60 defining the subject site's southern boundary. There is a 12-inch underground crude oil line and associated easement that bisects the subject site in an east-west orientation. This line is owned and maintained by Arco and extends from Long Beach Harbor where Alaskan oil is pumped in and distributed to refineries located in Arizona and Texas. In addition, there are two parallel 12-inch liquid gas lines that skirt the southwesterly corner of the subject site. See Exhibit II-1, Environmental Constraints, contained herein.

Consistent with the Heartland site, surrounding properties are also predominantly vacant and reflect rural/agricultural oriented land uses characterized by cultivated dry land barley fields on alluvial plains and terraces.

Properties in the immediate vicinity of Heartland are under private and/or corporate ownership. However, there are properties further to the southeast that are under the jurisdiction of the Bureau of Land Management (BLM) and the Bureau of Indian Affairs (BIA) (Morongo Indian Reservation lands). It should be noted that the BLM and BIA lands are located approximately 5 miles to the southeast and have no physical relationship to the Heartland property.

The majority of properties in proximity to Heartland consist of large consolidated ownerships that are in transition from predominantly rural/agricultural oriented land uses to an urban environment. The majority of this urbanization process will occur in the context of Master Planned Communities through the Specific Plan process.

C. Topography and Slope

The Heartland property consists of two distinct topographic features: a plateau/escarpment formation and a broad alluvial plain associated with San Timoteo Creek. The plateau formation exhibits relatively gentle sloping topography characterized by alluvial plains and terraces interspersed among low ridges and deeply incised drainages. The line of demarcation between the plateau formation and valley floor is well defined, consisting of an east-west trending ridge line/escarpment overlooking the upper reaches of San

Timoteo Canyon. The valley floor falls abruptly below the plateau formation, creating a broad alluvial plain associated with the San Timoteo Creek flood plain, see Exhibit II-2, Topographic Map.

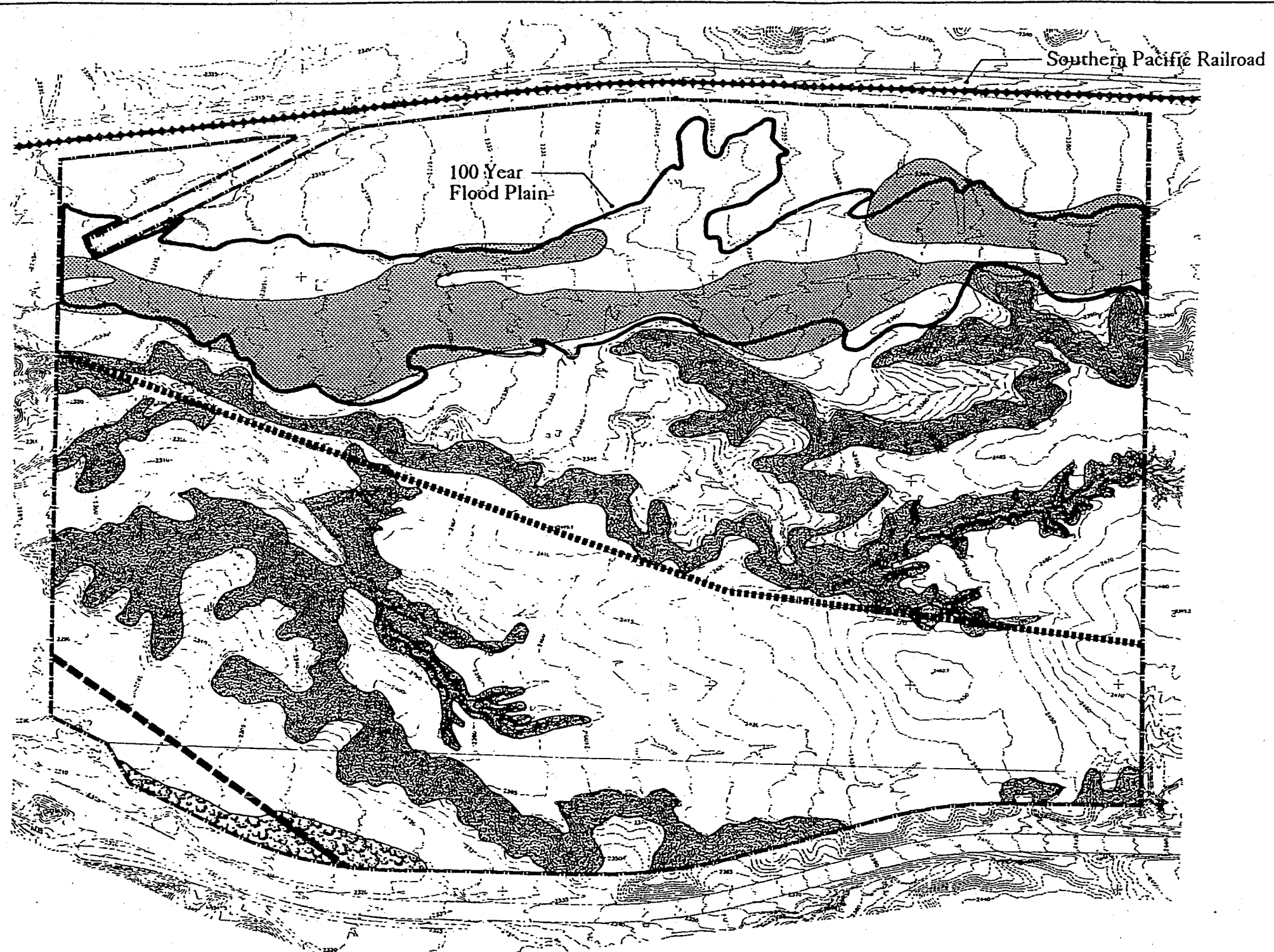
Elevation on the subject site ranges from 2,300 to 2,484 feet above sea level on the plateau formation to 2,300 to 2,380 feet above sea level on the valley floor. The Heartland property is dominated by relatively gentle terrain with intermediate non-consolidated areas of 25% slope totaling 89.2 acres or 21.4% of the site generally associated with ephemeral drainage. From a topographic perspective, the Heartland property exhibits relatively few constraints and limitations on the subject site's development potential. Exhibit II-3 illustrates the areas within the subject site which possess the 25% or greater slope condition.

D. Geology and Soils







Heartland is located at the northern end of the Peninsular Ranges Geomorphic Province. The site is located in a block configuration bound by the San Andreas fault zone located approximately six miles to the northeast of the property, and the San Jacinto fault zone located approximately six miles southeast of the subject site. The San Jacinto Fault extends along the southern edge of the San Timoteo badlands. The San Jacinto fault is considered active and is contained within a special studies zone per the state's Alquist-Priolo Special Studies Zone Act. Other faults of more local significance include the Banning and Cherry Valley fault zones, which are approximately two miles north of the subject site, and are designated as County Fault Hazard Zones. Exhibit II-4 illustrates the subject site's underlying geologic structure. The most recent geologic investigation prepared in conjunction with the Heartland Specific Plan EIR indicates that conventional earth moving techniques and equipment would be adequate to complete on-site grading of the sedimentary rock formations and the alluvial soils prominent over the subject site.

E. Hydrology

The subject site is located in the San Timoteo subarea of the Santa Ana River Regional Watershed. The subject site's major drainage/hydrology consideration is San Timoteo Creek which transverses the property in an east-west direction. San Timoteo Creek in turn ultimately converges with the Santa Ana River at a location in San Bernardino County. In addition, there are four minor tributaries to San Timoteo Creek, which transverse the subject site. San Timoteo Creek and the four minor tributaries are ephemeral, that is flowing in direct response to area precipitation. Surface flow for all of the drainage generally occurs only after heavy precipitation and saturated soil conditions cause overland flows. However, it should be noted that Cooper's Creek has been the recipient of discharged effluent from the

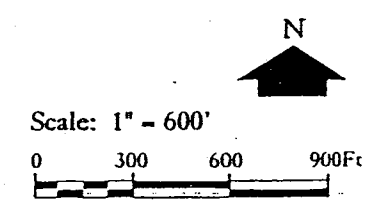


Environmental Constraints

-  100 Year Flood Plain
-  Riparian Vegetation
-  25% Slopes
-  Alluvial Fan Sage Scrub
-  Oil Transmission Line
-  Natural Gas Transmission Lines

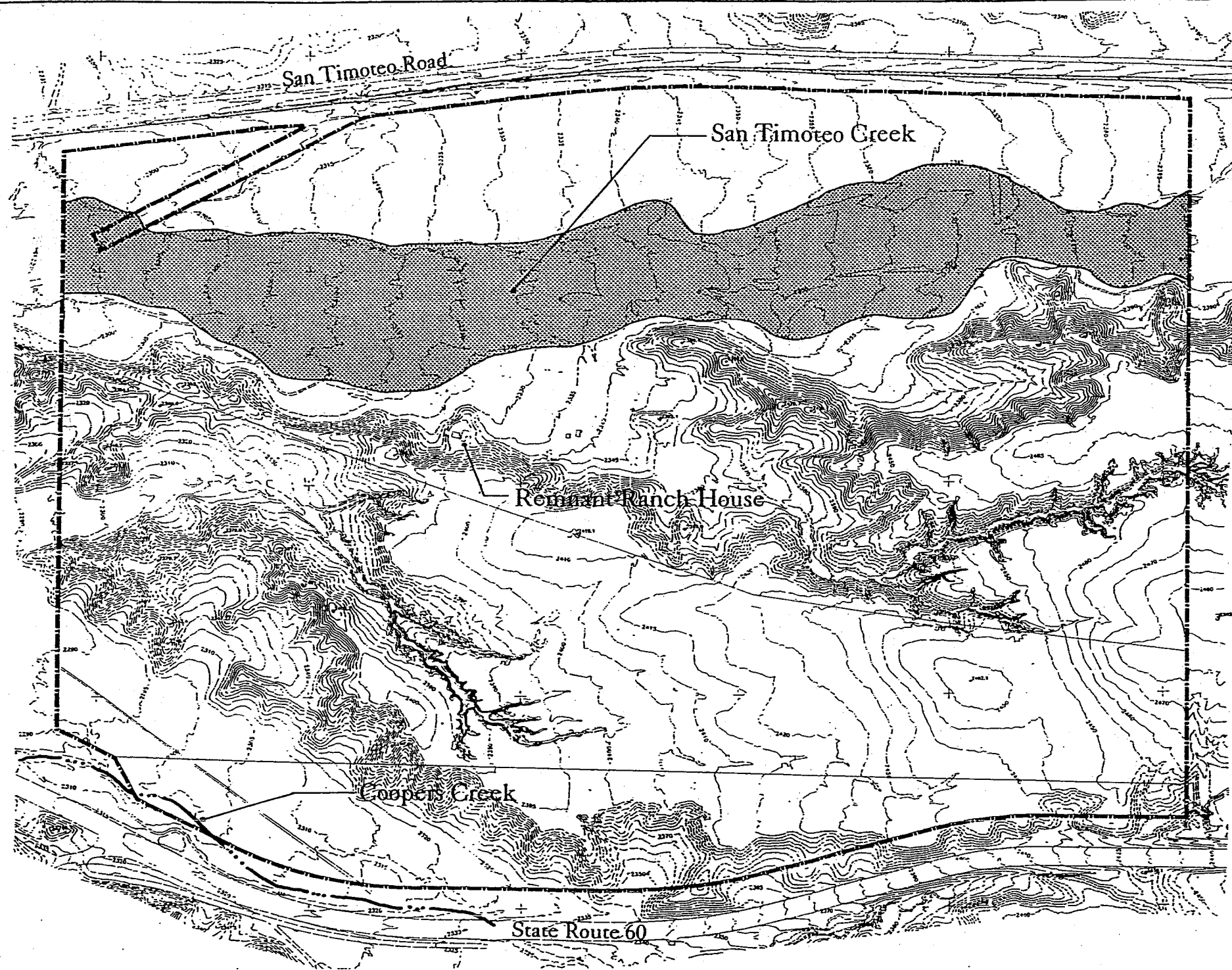
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Heartland Specific Plan Beaumont, California

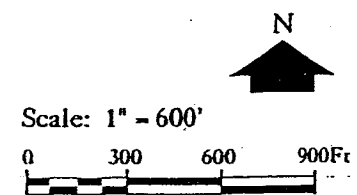


H E A R T L A N D

Exhibit No.: II - 1



Heartland Specific Plan Beaumont, California

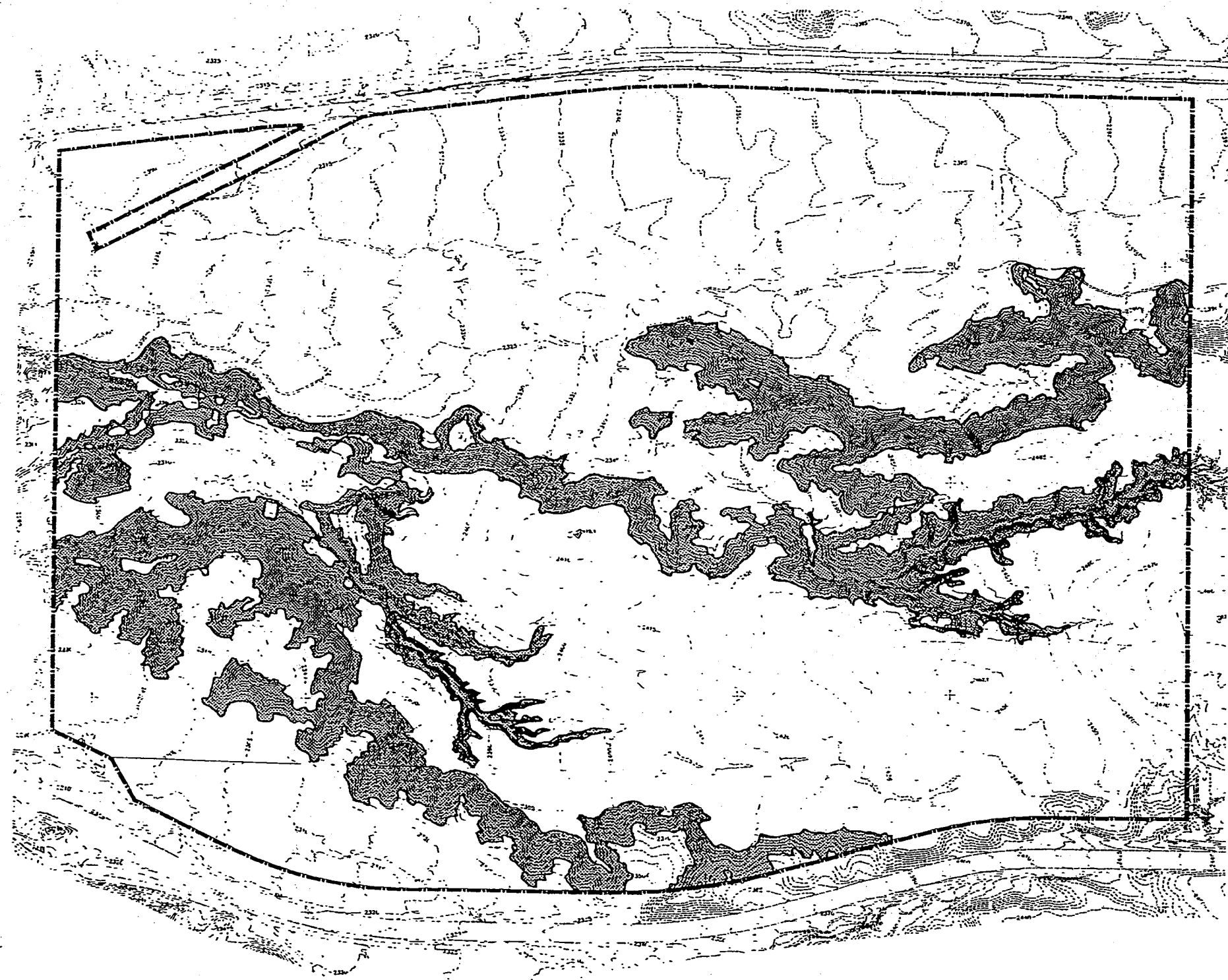


Topographic Map

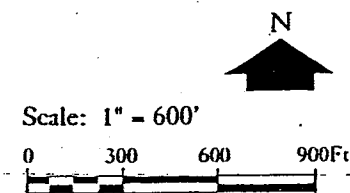
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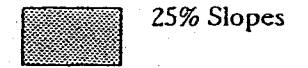
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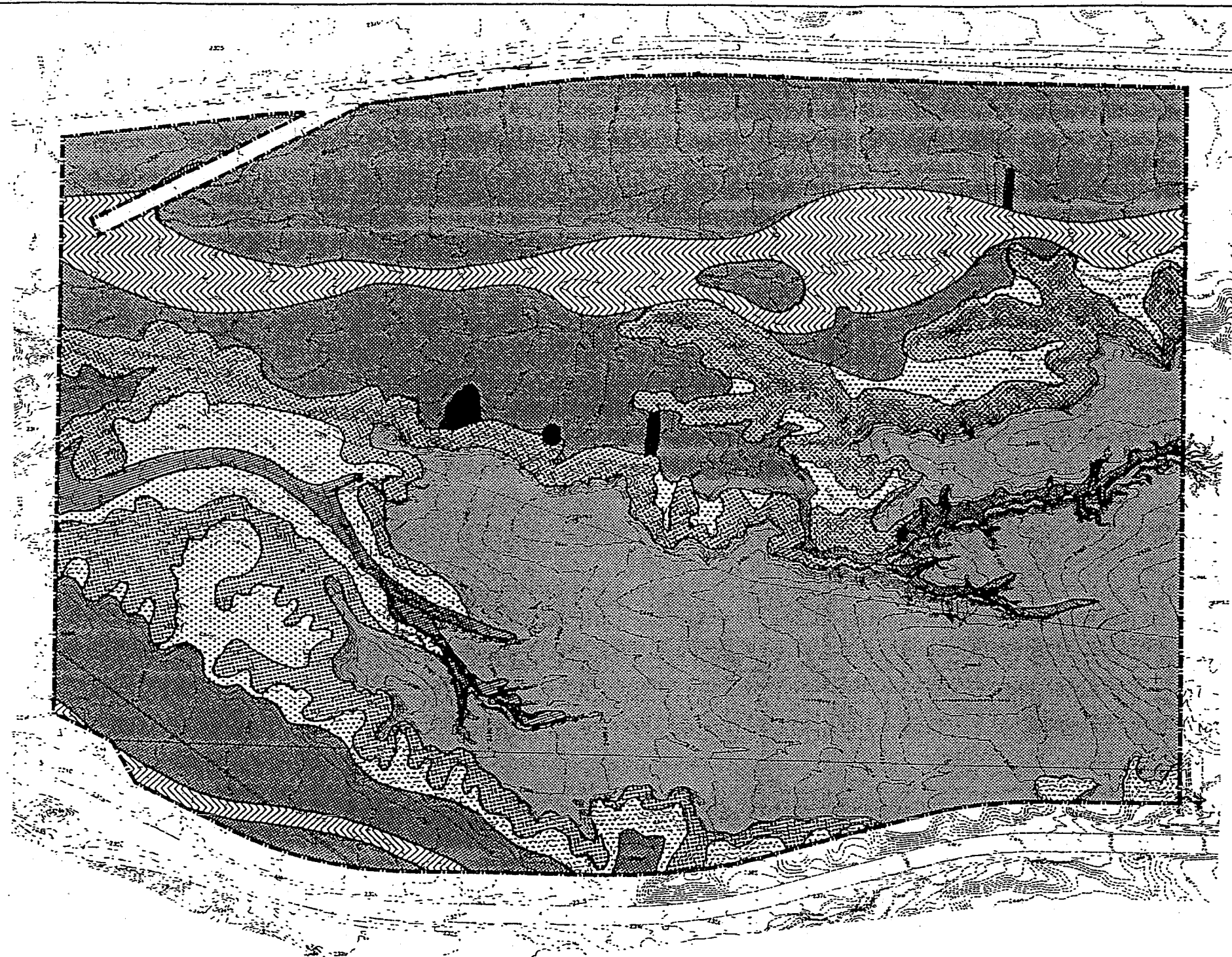


Slope Analysis



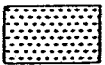


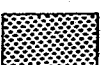


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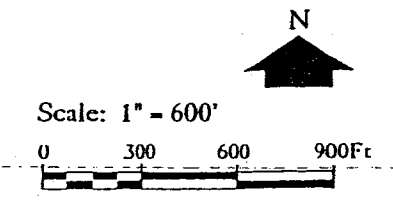


Geology

-  af - Artificial Fill
-  Qsc - Stream Channel Deposits
-  Qcol - Colluvium
-  Qal - Alluvium
-  Qoa - Older Alluvium
-  QTs - San Timoteo Formation

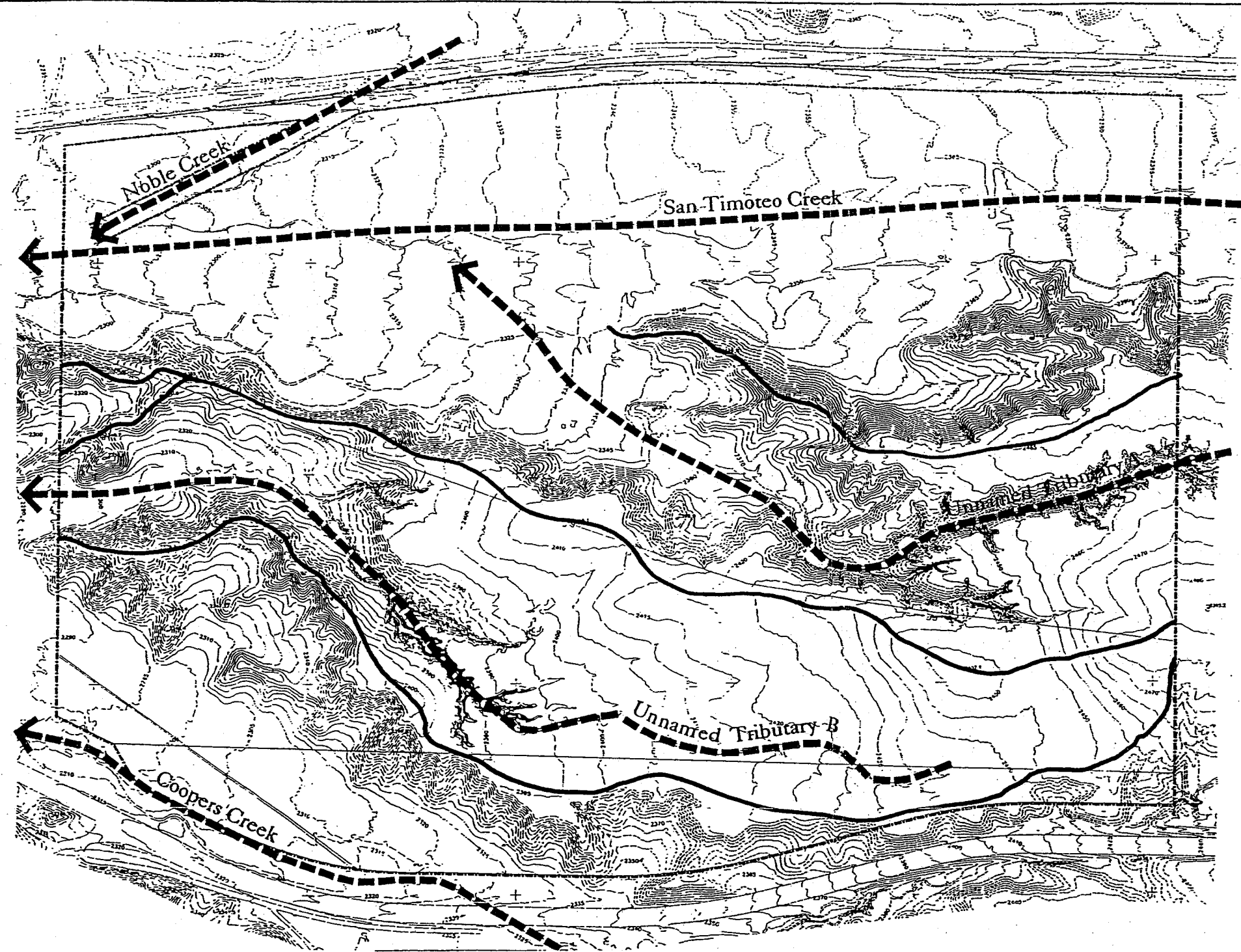
Source: Geotechnical & Environmental Engineers, Inc.

Heartland Specific Plan Beaumont, California





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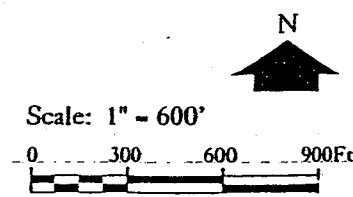


Local Hydrology

-  Drainage Area Boundary
-  Flow Line

Drainage	Area (Acres)	Q100 (CFS)
San Timoteo	13,575	17,586
Noble Creek	1,354	1,025
Tributary A	38	73
Tributary B	106	137.8
Coopers Creek	2,170	2,832

Heartland Specific Plan Beaumont, California



H E A R T L A N D

Exhibit No.: II - 5

City of Beaumont's waste water treatment plant and as such has exhibited unseasonable flows from an artificial source. Flooding on the subject site has historically resulted from seasonal storms, the nature of which can generally be classified into three categories: general winter storms, local storms and general summer storms. Exhibit II-5 illustrates the 100-year storm intensity or Q factor, and the associated flood plain for San Timoteo Creek and related tributaries. It should be noted that 100-year storm events are defined as the land area that is subject to flooding from a flood caused by a storm with a one percent statistical likelihood of occurring each year. The Heartland property drains an on- and off-site area of 15,660 acres. Currently, there are no flood control improvements and/or drainage facilities located on the subject site, and storm flows are confined within the natural streams and channels which traverse the property.

F. Biological Resources

A comprehensive biological resources survey was conducted by the firm of Tierra Madre Consultants, dated March 16, 1993. The results of this report have been summarized in the Environmental Impact Report prepared in conjunction with the Heartland Specific Plan. The following discussion identifies a number of issues that have influenced the design of the Specific Plan relative to biological resources.

1. ENDANGERED SPECIES

The biological resources evaluation identified two federally listed endangered species that could occur on-site: the Least Bell's Vireo and the Stephens' Kangaroo Rat.

Least Bell's Vireo (*Vireo belli pusillus*): Least Bell's Vireo was not observed during the survey. However, the oak/willow woodland riparian forest habitat, associated with Cooper's Creek located along the project's southern boundary, is extensive enough to support nesting vireos. It should be noted however, that the timing of the survey (January) was not the most conducive to observing Least Bell's Vireo and as such a conclusive determination as to the species presence or absence has not been made. The Specific Plan design has been sensitive to the preservation of the oak/willow woodland riparian plant community and its potential for supporting Least Bell's Vireo by maintaining the area as a riparian corridor.

Stephen's Kangaroo Rat (SKR): An investigation of the project site for SKR was conducted by O'Farrell (1989). This survey was referred to in a most recent study conducted by Tierra Madre Consultants, dated March 16, 1993. The survey concluded that "the current non-native vegetation on and surrounding the project site suggest that SKR was never present on the site. In addition, there is a lack of existing corridors which would negate the potential of future SKR occupation on the project site. It should

be noted that the property is outside the boundaries of the Riverside County SKR Habitat Conservation Plan (HCP) Fee area and is apparently outside the known range of the species.

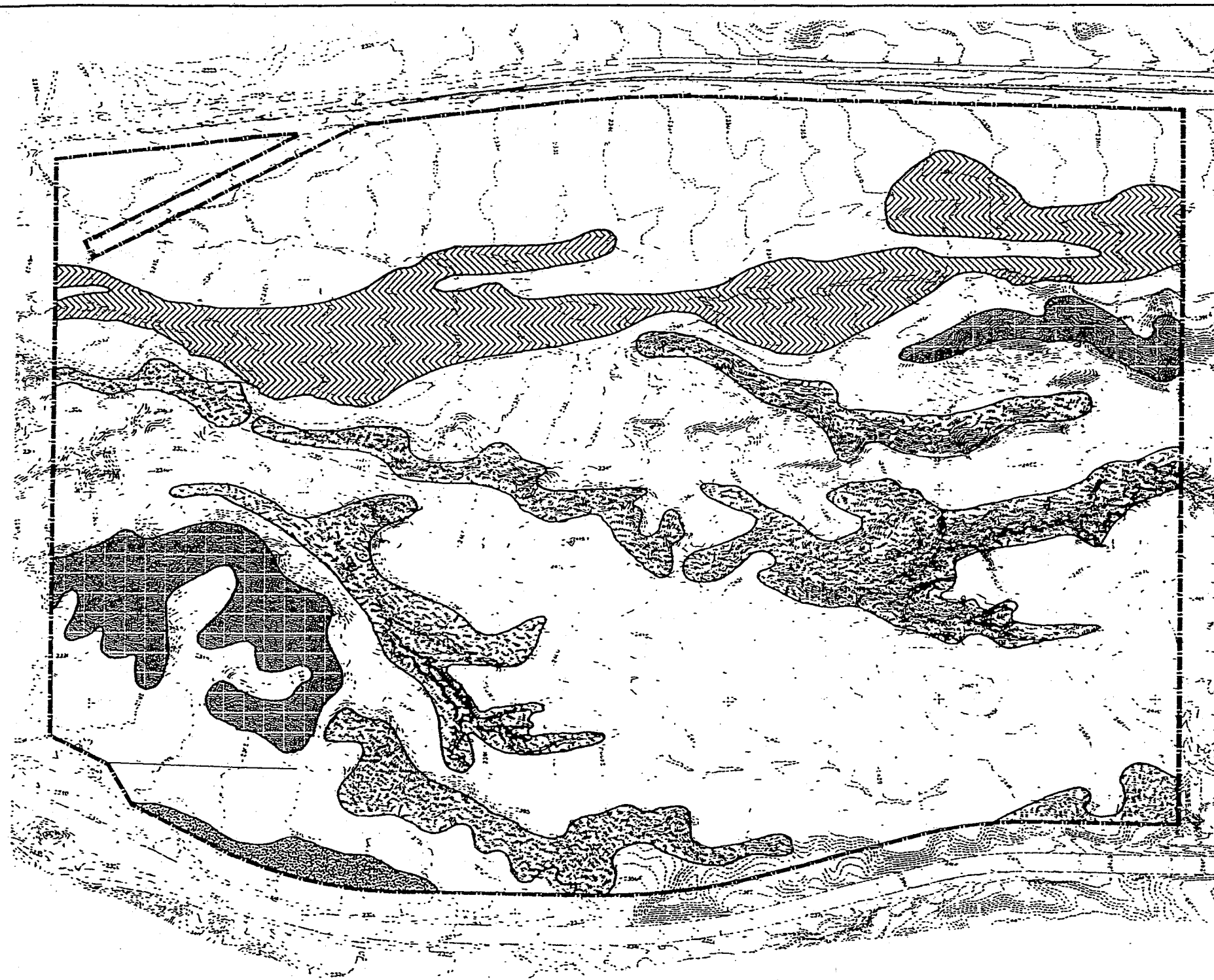
2. SENSITIVE SPECIES AND HABITAT RESOURCES

The biological survey also identified on-site flora and fauna taxa and plant communities that can be characterized as sensitive due to declining populations, vulnerability to habitat change or restricted distribution. Sensitive elements include animal movement corridors, raptor foraging habitat, riparian corridors, and areas of coastal sage/alluvial sage scrub habitat. These areas have been considered in the design of the Heartland Specific Plan towards achieving a balance between urban land use and resource preservation. Exhibit II-6 identifies the general areas of concern. The Specific Plan design has been responsive to these biological concerns. The retention of San Timoteo Creek in an unchannelized condition will maintain the creek's capacity as an animal movement corridor and preserve the alluvial fan sage scrub, which provides important habitat for a number of sensitive species. In addition, preservation of San Timoteo Creek in a natural open space condition will continue to provide raptor foraging habitat opportunities; particularly for raptor species having a tolerance for human presence and/or those requiring a relatively small home range area. The Specific Plan design has been sensitive to preservation of the oak/willow woodland riparian community by the avoidance of human intrusion.






G. Cultural/Historic Resources

At the European contact time, the subject site was within areas occupied by groups known as the Cahuilla, who are linguistically related to the Shoshonean language family. A cultural resource impact assessment was prepared by Christopher E. Drover, Ph.D. (consulting archaeologist) dated February 2, 1993. The results of the study indicated that the subject site lacks any resources of a significant nature and that no further analysis and/or mitigation is necessary. As such, cultural resources have not had an influence on the design of the Heartland Specific Plan.

From a historic resources perspective, the subject site is vacant with the exception of a ranch/farm house and appurtenant facilities, which are centrally located on the property just below a well defined east/west trending ridge line. As previously discussed, the structures lacked any value as a historic resource and were intentionally burned as part of a recent Riverside County Fire Department training exercise.

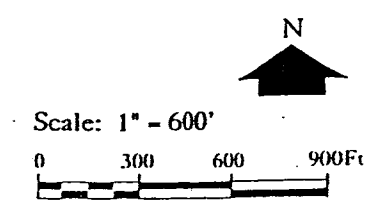


Vegetation

-  Coastal Sage Scrub
-  Alluvial Fan Sage Scrub
-  Chaparral
-  Riparian
-  Cultivated

Source: Tierra Madre Consultants

Heartland Specific Plan Beaumont, California



H E A R T L A N D

Exhibit No.: II - 6

H. Public Facilities

1. POLICE PROTECTION

The Heartland Specific Plan is serviced by the City of Beaumont Police Department. The Beaumont Police Department Service facility is located at 660 Orange Avenue. The Police Department currently has 16 sworn officers. The department also has 10 to 15 reserve officers. The current officer/citizen ratio is 1.2 per 1,000.

2. FIRE PROTECTION

The Riverside County Fire Department, in conjunction with the California Division of Forestry (CDF) currently provides service to the project area. There are currently four fire stations providing complete fire protection including fire, public service and emergency medical aid response. Due to the size and accessibility of the Heartland project, it is anticipated that an on-site substation will not be needed and as such, the Specific Plan has not reserved a planning area for this purpose.

3. SCHOOL SERVICE

The Heartland Specific Plan is located within the jurisdiction of the Beaumont Unified School District. The Specific Plan has incorporated a 9.2 acre K-5 school site to meet the needs of Heartland's elementary aged students.

4. WATER SERVICE

The Heartland Specific Plan is located within the boundary of Beaumont-Cherry Valley Water District (BCVWD) and within the boundary of the San Geronio Pass Water Agency (SGPWA). BCVWD is the water retailer for the project area and SGPWA is the water wholesaler. BCVWD currently relies on extraction of groundwater from the Beaumont Groundwater Basin, Edgar Canyon and Little San Geronio Canyon. SGPWA currently is in the planning stages to construct imported water facilities which will deliver water from the state water project to the service area. The project proponent is participating in CFD 93-1 as a mechanism by which to fund the design and construction of regional domestic water distribution improvements.

5. SEWER SERVICE

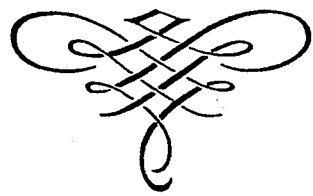
The Heartland Specific Plan is located within the sewer service area of the City of Beaumont. However, there are no sewer trunk mains extended to the subject site at this time. The City of Beaumont currently operates a 1,000,000 gallon per day wastewater/sewage treatment plant which will

ultimately service the Heartland development. The treatment plant in its current condition is operating over its design capacity of 826,000 gallons per day, and treated effluent from the plant does not comply with State Regional Water Quality Control Board Title 22 water quality standards. In June, 1993, the City of Beaumont formed Community Facilities District (CFD) 93-1, of which Heartland is a participant, and authorized the sale of sewer revenue bonds to expand the wastewater treatment plant and upgrade the treatment process to comply with State Regional Water Quality Control Board requirements. Completion of a plant expansion to 1.5 mgd is targeted for March 1995, and the Heartland project has financed and reserved capacity in the upgraded plant for its initial phases of development pursuant to CFD 93-1.

6. DRY UTILITIES

Providers of electrical, telephone and natural gas service will be Southern California Edison Company, General Telephone Company and Southern California Gas Company, respectively. Transmission lines and connection locations are discussed in more detail in the Specific Plan section of this document.

Chapter III
Specific Plan



III. Specific Plan

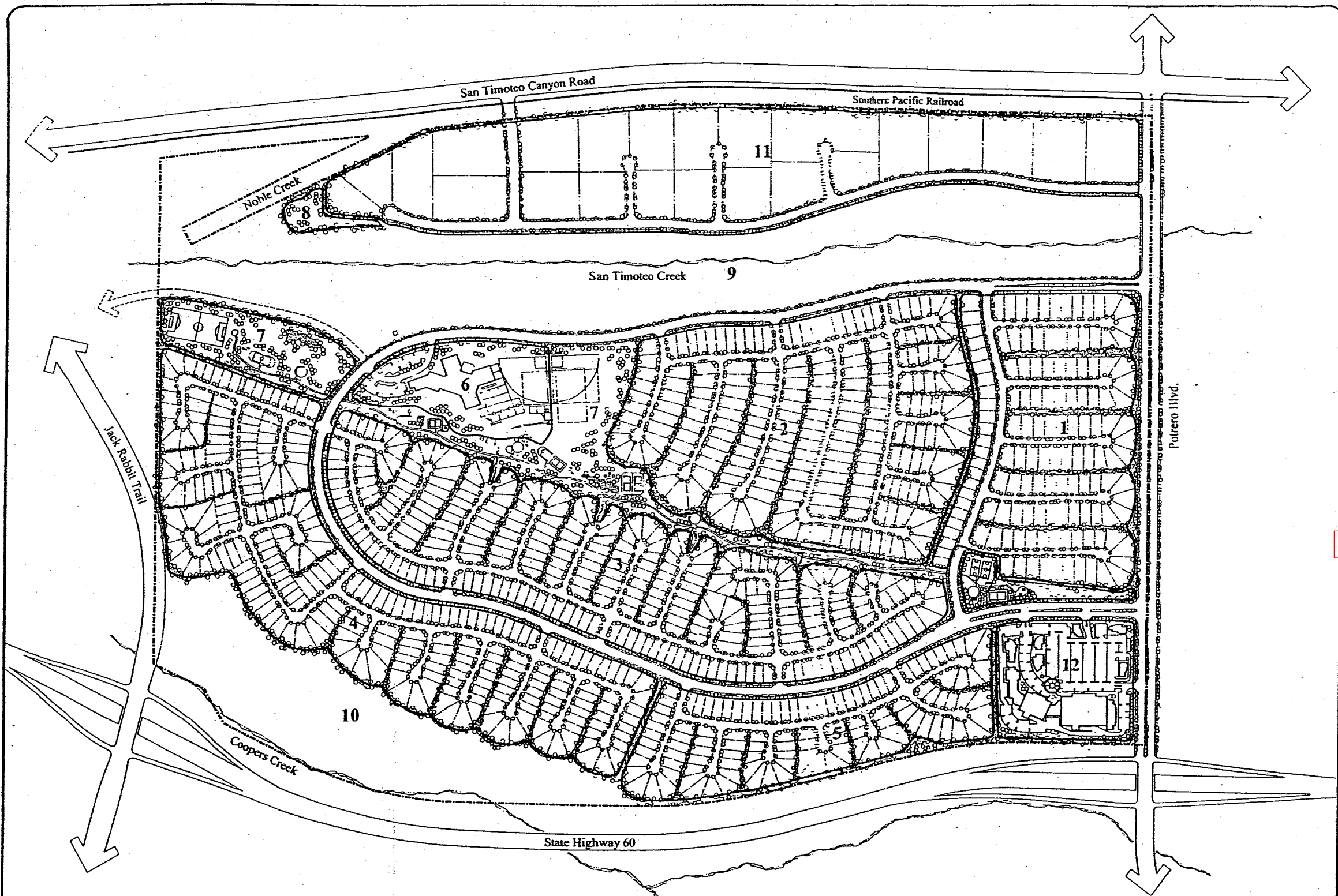
This segment of the Specific Plan text will present the overall specific plan concept and provide planning standards that will be applied to the overall development of Heartland. To achieve this end, this section of the text will provide an overview of the land use plan and a brief description of each of the major land use elements. This discussion will be followed by presentation of the Plan and associated standards that will be applied to circulation, drainage, water and sewer, phasing, public facilities, grading, recreational features and amenities, conservation/open space and landscaping components. This discussion will be followed by Section 5, which will provide a more focused and detailed analysis of each of the individual planning areas in terms of land use, density, development standards/regulations and planning area specific features such as landscaping, entry monumentation, buffer treatments, etc.

A. *Summary of the Plan*

As discussed in the preceding sections of this text, the Heartland Specific Plan has been based on careful consideration of the subject site's existing condition relative to opportunities and constraints in addition to a comprehensive analysis of relevant engineering and planning data. The Heartland Specific Plan will reflect a mixed use master planned community in response to development trends within the Beaumont and Banning areas. The Specific Plan will provide a diverse, high quality living environment accessible to a broad spectrum of families and individuals with an emphasis on the single family residential market. The Specific Plan will be primarily a residential development. However, in addition to residential land uses, the Specific Plan will provide 50.3 acres of industrial/business park opportunity in addition to a 11.5 acre neighborhood commercial center and a 9.2 acre elementary (K-5) school site.

The Specific Plan will retain natural amenity values within the San Timoteo Creek and related tributaries. The site's natural land forms, i.e., flood plains, riverbed escarpment, plateaus and broad washes, in addition to the areas existing and planned circulation network, have played pivotal roles in the delineation of the proposed land uses, neighborhood enclaves, circulation network and open space areas.

The Heartland Specific Plan will establish project unification and identity through design features such as architecture, signage, landscaping treatments, and entry monumentation. Exhibit III-1 in conjunction with the Land Use Summary, Exhibit III-2 illustrates the overall plan of development for Heartland. As will be discussed in more detail, lands set aside for conservation and preservation are comprised of conservation corridors consisting of wetlands preserves, multi-species animal movement corridors,



Heartland Specific Plan Beaumont, California

Specific Land Use Plan

Product	Planning Area	Acreege	Density Range	Max. Dwelling Units
Low Density				
Single Family	1	33.2	3.1 - 5.0	166
	2	49.6	3.1 - 5.0	248
Medium Density				
	3	50.8	4.6 - 6.5	330
	4	50.9	4.6 - 6.5	330
	5	23.1	4.6 - 6.5	150
Subtotal		207.6	5.9	1,224
Parks and Open Space				
Elementary School	6	9.2		
Paseo Sports Park	7	23.9		
Respite Park	8	1.4		
San Timoteo Creek	9	61.4		
Coopers Creek	10	27.6		
Arterials/Collector Roads, Parkway		24.3		
Subtotal		147.8		
Commercial				
Industrial Park	11	50.3		
Neighborhood Commercial	12	11.5		
Total		417.2	2.9	1,224

Open Space

H E A R T L A N D

Exhibit No.: III - 1

Land Use Summary

Product	Planning Area	Acreage	Density Range	Max. Dwelling Units
LOW DENSITY				
Single Family	1	33.2	3.1 - 5.0	166
	2	49.6	3.1 - 5.0	248
MEDIUM DENSITY				
	3	50.8	4.6 - 6.5	330
	4	50.9	4.6 - 6.5	330
	5	23.1	4.6 - 6.5	150
SUBTOTAL		207.6	5.9	1,224
PARKS AND OPEN SPACE				
Elementary School	6	9.2		
Paseo Sports Park	7	23.9		
Respite Park	8	1.4		
San Timoteo Creek	9	61.4		
Coopers Creek	10	27.6		
Arterials / Collector Roads, Parkways		24.3		
SUBTOTAL		147.8		
COMMERCIAL				
Industrial Park Open Space	11	50.3		
Neighborhood Commercial	12	11.5		
TOTAL		417.2	2.9	1,224

and undisturbed open space. Together, these components play a pivotal role in the preservation of the natural resources of the property and the region as a whole.

B. Specific Land Use Components

For the purpose of this discussion, the comprehensive land use plan as illustrated by Exhibit III-1 contained herein, has been divided into five subsections corresponding to the following:

- Residential
- Industrial
- Commercial
- Open Space and Recreation
- Circulation
- Public Facilities

1. SUMMARY OF RESIDENTIAL USES

Residential land uses within the Heartland Specific Plan will provide a variety of single family housing opportunities in response to regional market factors. More specifically, the residential component will reflect a combination of low density and medium density residential land uses applied over four major lot size categories: 7,000 square feet, 6,000 square feet, 5,000 square feet and 4,500 square feet. Overall, the residential uses will establish a maximum of 1,224 dwelling units dispersed over the 417.2 acre Specific Plan site and at an overall density inclusive of the commercial and industrial areas of 2.5 dwelling units per acre and a density of 3.4 dwelling units per acre exclusive of the commercial and industrial components. Residential land uses will be located within five individual planning areas (see Exhibit III-1, Specific Plan Land Use Summary). Table I below identifies the various density classifications and corresponding dwelling unit counts for each of the residential classifications.

Table I - 1

Residential Land Use Category	Dwelling Units	Percent of Units	Acres	Percent of Residential Acres
Low Density - 7,000 sf	166	13.5	33.2	16.0
Low Density - 6,000 sf	248	20.3	49.6	23.9
Medium Density - 5,000 sf	660	54.0	101.7	50.0
Medium Density - 4,500 sf	150	12.3	23.1	11.1
Total	1224	100%	207.6	100%

The Heartland Specific Plan residential component will consist of only one product type, single family residential. However, within this category, there will be a wide array of lot sizes and densities which will support varied detached products, each constructed in fee-simple lots with front, rear and side yard setback(s). A density range of 3.1 to 6.5 dwelling units per acre is planned and segregated into four categories. The following provides a brief description of the various single family product types.

Single Family Detached (P.A. 1) 3.1 to 5.0 DU/acre. This residential category includes a minimum lot size of 7,000 square feet intended to address the move-up single family market. These lots will accommodate production homes expected to range in size from approximately 2,000 to 3,000 square feet and may include 3-car garages consistent with this market. This lot size/density category will have relatively large rear yards and as such accommodate pools, gazebos, patios and lawn areas.

Single Family Detached (P.A. 2) 3.1 to 5.0 DU/acre. This residential category is intended to accommodate conventional detached homes on lots with a minimum area of 6,000 square feet. The product type has been planned as a transitional density between the 7,000 square foot and 5,000 square foot lot size categories. The lots within this density category are intended to accommodate medium priced production, one- and two-story detached homes anticipated to average approximately 1,800 square feet. This product type will incorporate conventional 20 foot front yard setbacks, side yards and sufficient rear yard area to accommodate private outdoor uses and activities.

Single Family Detached (P.A. 3) 4.6 to 6.5 DU/acre. This residential category is intended to accommodate conventional detached single family residential products on lots with a minimum area of 5,000 square feet. It should be noted that the 5,000 square foot criteria represents a minimum usable pad and as such the actual lot area may exceed the 5,000 square foot criteria inclusive of side and rear yard slope areas. This design strategy will insure that the lots, while relatively small, will maintain a viable pad area that will permit the greatest degree of design flexibility in terms of product type, footprint and setback variation. It should be noted that pads of 5,000 square feet permit product types often found on the larger 7,000 square foot lot size category and as such this description should not imply that the 5,000 square feet category would preclude a larger product type. This residential category represents the largest single family detached classification in terms of acreage and dwelling units allocated. The lots within this density category are intended to accommodate medium priced production, one- and two-story detached production units anticipated to average approximately 1,800 square feet. This product type will incorporate conventional front and side yard setbacks of 20 feet and 5 feet, respectively, and sufficient rear yard areas to accommodate private outdoor uses and activities.

Single Family Detached (P.A. 5) 4.6 to 6.5 DU/acre. This residential category is intended to accommodate conventional detached houses on lots with a minimum area of 4,500 square feet. It should be noted that the 4,500 square foot criteria represents a minimum usable pad and as such the actual lot area may exceed the 4,500 square foot criteria inclusive of unusable side and rear yard slope areas. This design criteria will insure that the lots within this category, while relatively small, will maintain a viable pad area. In addition this design strategy will enable the project proponent for Planning Area No. 5 to develop a quality product on a viable pad and respond to the entry level market. Lots within this density category are intended to accommodate entry level to median priced one- and two-story detached production units anticipated to range 1,200 and 1,800 square feet. Products in this residential category will be placed on the individual lots utilizing conventional side yard setbacks or may be oriented utilizing the zero lot line concept. The zero lot line approach will allow an opportunity to create a unit with a significant usable side yard/patio condition versus the more conventional approach that maintains two side yards, both of which are relatively unusable. Exhibit III-47 (Zero Lot Line Residential Concept Plan), located in the architectural guidelines segment of this text, illustrates the relationship of the residential structures to the property line. By placing one side of the structure on the property line and eliminating one side yard, the opposing side yard is significantly increased in terms of openness and usability, and as such the use of the pad is maximized.

2. INDUSTRIAL PARK/COMMERCIAL USES

As previously discussed, one of the objectives of the Heartland Specific Plan is to create a mixed-use balanced community. Towards that end, industrial and commercial land use components have been incorporated into the Specific Plan design. The following discussion has been divided into two subsections corresponding to each respective land use.

Industrial Park Land Uses. Planning Area No. 9 will provide 49.1 acres of industrial/business park opportunity. As a non-noise sensitive land use, the industrial/business park component has been strategically located adjacent to the railroad right-of-way and segregated from the neighborhood enclaves by the San Timoteo Creek open space corridor. It is anticipated that the industrial park will support varied uses, such as research and development, warehousing activities and limited support commercial uses. The industrial park area is accessible to San Timoteo Canyon Road and Potrero Boulevard, both having a Primary Highway General Plan classification in addition to planned linkages to the Interstate 10 freeway and State Route 60 Highway. This condition will provide excellent accessibility to and from the industrial park for the efficient access to, and movement of, products, goods and services.

Commercial Land Use. An 11.5 acre commercial center is located in Planning Area No. 10 at the northwest corner of Potrero Boulevard and State Route 60. Given the commercial component's size configuration and location, the center can best be described as a neighborhood commercial center. Neighborhood commercial centers are typically 10 acres or less in size and have a service area/primary market radius of 2.5 miles. The Heartland Commercial Center has been located so as to provide goods and services primarily for Heartland residential neighborhoods. However, given the center's proximity to and orientation towards State Route 60, the commercial component will also be easily accessible to commuters utilizing the State Route 60 corridor. The Heartland neighborhood commercial center will consist of approximately 100,000 square feet of building area with a floor area ratio of approximately 3.5 to 1, and generally include a variety of retail uses, such as supermarket, drug store, cleaners, video store, barber/salon, and other service and convenience retail opportunities typical of neighborhood level commercial centers.

3. PUBLIC FACILITIES

A comprehensive infrastructure system will be developed to accommodate the on-site drainage and domestic water and sewer requirements of the Heartland community. For the purpose of the Specific Plan, these infrastructure components have been designed conceptually and are illustrated in Exhibits III-3 through III-9. The infrastructure design will be refined in greater detail as the Heartland Specific Plan proceeds through the tentative map and final engineering phases of the process. Through the Specific Plan process, Heartland anticipates the siting and sizing of storm water, wastewater and domestic water mains and key infrastructure facilities throughout the community. The development of the various land use components and phases comprising the Heartland Specific Plan are tied to infrastructure availability whereby project phasing is not dependent on a sequential approach, but rather infrastructure availability. In addition, the project proponent is participating in CFD 93-1 towards the design and construction of off-site regional urban level infrastructure improvements. Designs of these facilities will be evaluated against and meet City, County, Regional and State criteria and standards. In addition to infrastructure considerations, a 9.2 acre elementary (K-5) school facility will be provided for in planning area No. 6 of the Specific Plan. The school facility will be constructed in accordance with the State Department of Education standards. The timing of the school site's construction will be determined by the Beaumont Unified School District based on their needs assessment, master plan of facilities program and budgetary considerations.

4. OPEN SPACE AND RECREATION

A significant portion of the Specific Plan site, 152 acres or 36 percent of the project, will be retained in various forms of open space. More specifically, the Heartland Specific Plan will provide open space amenities consisting of the following components: Passive open space, respite park, paseo sports park and expanded parkway treatments. See Open Space and Recreation Exhibits contained in Section 3-7 and Section 4-7 of this text. Of the total 152 acre open space commitment, 23.9 acres are considered active recreational facilities yielding a ratio in excess of 5 acres of active recreation park facilities per 1,000 residents. Below, the various open space components are summarized.

Passive Open Space. The major focus of the passive or undisturbed open space component is the San Timoteo Creek wash, Planning Area No. 9, which will comprise 61.4 acres and traverses the entire project site in an east-west direction. Encroachment into the San Timoteo Creek 100 year flood plain will be discouraged to the greatest extent possible. As such, the Specific Plan will retain San Timoteo Creek in an unchannelized natural condition. This natural drainage corridor design consideration will facilitate natural drainage patterns and ensure the continued preservation of the alluvial fan sage scrub habitat found in the alluvial plain. In addition, San Timoteo Creek's asset as a wildlife movement corridor will also be maintained. Another important passive open space consideration is the Cooper's Creek drainage and associated riparian habitat. This area includes 27.6 acres and consists of the actual riparian corridor in addition to an undisturbed buffer/setback area between the riparian corridor and the residential units proposed within planning area No. 4. This design consideration will facilitate natural drainage flows and ensure the continued preservation of a significant stand of high quality cottonwood forest/riparian habitat.

Respite Park. The 1.4 acre respite park (planning area No. 8) is physically linked to the industrial/business park component of the Specific Plan and, as the name implies, will provide employees within the industrial/business park complex with an outdoor, close at hand opportunity to relax during lunch time activity and/or breaks. As such, the respite park will be semi-active and include picnic tables, trash receptacles, open cabanas, shade areas and other amenities that will enhance and accommodate lunch time and/or break time activity.

Paseo Sports Park. The 23.9 acre paseo sports park (planning area No. 7) represents the centerpiece of the Heartland active

recreation plan. The paseo park extends the entire length of the Specific Plan in an east-west orientation following the Arco gas line easement. The paseo park reflects a unique recreational amenity in that it provides a continuous multi-purpose trail system linked to a series of active recreational nodes, each providing a varied amenity. The most significant activity area within the paseo is the sports park component located adjacent to the Heartland elementary school. This design consideration will facilitate joint use in order to accommodate both school related activity and community oriented activity, see Exhibit IV-7b. Another significant feature of the paseo park is its accessibility. The paseo sports park is centrally located and can be accessed from every residential planning area within Heartland by non-vehicular means, such as pedestrian and bicycle. The paseo sports park trail system will also provide non-vehicular (pedestrian) area-to-area links within the Heartland community. The varied amenities provided within the paseo park in combination with the accessibility factor will ensure that quality active recreational opportunities are afforded the Heartland community and that utilization of the recreational resources are maximized. In addition, the centralized paseo sports park design will play an important role in reducing traffic and air quality related impacts by providing on-site, pedestrian oriented and highly desirable recreation opportunities. This benefit is discussed in more detail in the Environmental Impact Report document prepared in conjunction with the Heartland Specific Plan.

Expanded Roadway. All roadways within Heartland that meet the collector street or greater criteria will incorporate an expanded parkway treatment. The expanded parkway area will be of a variable width but not less than 12 feet. The expanded parkway/open space landscape treatment will provide a visual amenity along Heartland's collector roadways and soften the transition between the various collector roads and the adjoining residential land uses. In addition to providing a consistent parkway landscape treatment along the various collector roadways, this treatment will assist in promoting project unification between the various residential enclaves and planning areas.

C. General Land Use Development Standards

Project-wide development standards shall be applied towards ensuring overall design coordination of the various planning areas within the Heartland Specific Plan. The project-wide development standards will also serve to ensure the orderly development of the land use plan on a community wide basis as outlined below. The discussion immediately following this

section of the Specific Plan text (Chapter 4) will provide a detailed discussion of standards that will apply to each of the individual planning areas.

1. The Heartland Specific Plan shall be developed with a maximum of 1,224 dwelling units over the 417.2 acre Specific Plan area and in a manner consistent with the land use plan as illustrated by Exhibit III-1 and Exhibit III-2. The General Land Use categories permitted within Heartland shall include residential, commercial, industrial, recreation and public facilities.
2. Uses and development standards shall be in accordance with building standards as described in the "Development Regulations" section of the plan.
3. When any issue or condition occurs that is not provided for by these regulations, those provisions provided for by the City Code that are most applicable for the most similar issue or condition, and which do not conflict with the policies and provisions of this plan as determined by the Community Planning Director or designee, shall apply.
4. Prior to issuance of a building permit for construction of any use contemplated by this approval, the applicant shall first obtain clearance from the City of Beaumont Planning Department verifying that pertinent conditions of Specific Plan approval relative to the segment of the Specific Plan in process have been satisfied.
5. Development area boundaries shall follow the land use plan. Minor adjustments to these boundaries resulting from final road alignments and/or technical or engineering refinements will not require a Specific Plan Amendment, and may be modified with the approval of the Planning Director or designee as an administrative approval. Please refer to the Administration and Implementation Section (Section 6) of this text for limitations.
6. As development occurs, planning areas may be built out at less than the allocated density, creating a remainder of unbuilt dwelling units. During implementation, the City of Beaumont Planning Department shall be responsible for the monitoring and control of these residual dwelling unit entitlements. The developer may, subject to the approval of the Planning Director, draw upon the accumulated pool for use in other planning areas. Please refer to the Administration and Implementation Section (Section 6) of this text for details and limitations.
7. Any common areas identified in the Specific Plan shall be maintained by an assessment district, community service area, homeowners' association, or similar entity as approved by the City of Beaumont, which shall assume maintenance responsibility for all common recreation and open space areas and public street rights-of-way.

8. Passive solar heating techniques will be employed whenever reasonably possible within the project. Such techniques include building orientation, landscaping, architectural design, adequate insulation and glazing, and simple heat storage systems.
9. Mitigation measures for environmental resources shall be implemented as identified through the certified Environmental Impact Report/Mitigation Monitoring Report in applicable planning areas.
10. At a minimum, an environmental assessment (Initial Study) or other required technical analysis shall be conducted for each tract, change of zone, plot plan, specific plan amendment, or any other discretionary permit required to implement the Specific Plan. The environmental assessment shall utilize the evaluation of impacts addressed in the certified EIR prepared for this Specific Plan (see Section 6).
11. A City Change of Zone Application, which would constitute a Specific Plan Amendment, may be required, as determined by the Planning Department, with a subsequent development application if the proposed use varies substantially from the use(s) provided for by the zoning standards established within the Specific Plan document. Please refer to Section 6, Administration and Implementation, of this text for details and limitations.
12. Lots created by subsequent tentative maps shall be in conformance with the development standards set forth in Section 5 of the Specific Plan.
13. If necessary, roadways, infrastructure, parks, open space and any other public facilities may be coordinated with, and paid for through, an assessment district, Community Facilities District, or other appropriate mechanism to facilitate construction, maintenance, and management.
14. Prior to the issuance of building permits, improvement plans for developed common areas within the specific phase of development, including landscape and irrigation plans, shall be submitted for Planning Department approval.
15. For the security and safety of future residents, the applicant or developer shall incorporate the following design concepts within each individual tract:
 - Adequate circulation for pedestrians, vehicles, police patrols and other emergency related vehicles.
 - Lighting of streets, walkways, bikeways and park areas.
 - Appropriate fencing applications in terms of fence location, height and materials.

D. SPECIFIC PLAN: Circulation Plan

The ensuing discussion will be divided into two subsections: Circulation Plan Description and Circulation Plan Standards.

1. CIRCULATION PLAN DESCRIPTION

The circulation network within the Heartland Specific Plan will absorb approximately 24.3 acres and utilize existing and master planned right-of-ways to the greatest extent possible. The Circulation Plan as illustrated by Exhibit III-3 establishes the roadway network providing direct and convenient access to individual residential enclaves in addition to employment and service related land uses. This concept has been achieved through a carefully designed hierarchy of roadways which includes arterial secondary collectors and local residential streets. The cross-sections of the various roadways are illustrated by Exhibits III-4a through III-4b. In addition, the Circulation Plan incorporates a system of interconnected multipurpose trails, sidewalks and Class II bike paths.

The circulation concept has been developed in conjunction with professional traffic engineering analysis conducted by Linscott, Law and Greenspan. Primary access to the Heartland Specific Plan will be achieved by way of Potrero Boulevard, also known as the 4th Street extension, which possesses an urban arterial highway designation (142 foot right-of-way), in conjunction with a master planned State Route 60 interchange. Secondary access will be achieved by way of a northern extension of Potrero Boulevard from the proposed State Route 60 interchange to San Timoteo Canyon Road. San Timoteo Canyon Road, which is also designated as an urban arterial highway, in turn is linked to the Interstate 10 freeway by way of an existing interchange. Ultimately, a third access alternative will be available to the Heartland community by way of the Jack Rabbit Trail. The third access alternative is illustrated conceptually by Exhibit III-3. The precise alignment and timing will be determined by regional circulation related factors and influences. The Heartland circulation concept and its relationship to the City of Beaumont's larger regional network is illustrated by Exhibit III-5.

The Potrero Boulevard/State Route 60 interchange and overcrossing will be phased, and as such interim improvements are anticipated which would permit Heartland to move ahead in the development process. In terms of phased interim improvements, it is anticipated that the Potrero Boulevard/State Highway 60 bridge will initially be constructed as a two-lane facility as depicted in Exhibit III-4c, Roadway Cross Section; ultimately the bridge design would reflect a four-lane facility within an 80 foot right-of-way and 72 foot curb to curb paved section. The Caltrans Project Study Report (PSR) for the above-referenced bridge is currently in process and will ultimately determine the bridge design and associated transition to Potrero

Boulevard. Additionally, it is anticipated that Potrero Boulevard would initially be improved as a two-lane/half width facility until such time that regional traffic related conditions warranted the four-lane ultimate condition or the adjacent property proceeded through the development process and provided the matching half width. Ultimately, Potrero Boulevard at San Timoteo Canyon Road will be improved to reflect a grade separation condition. In both of the above referenced circumstances, ultimate improvements will occur as regional circulation factors and impacts warrant. At this juncture, it is expected that the funding for the design of the State Route 60/Potrero Boulevard interchange and crossing will be accomplished by CFD 93-1. It is anticipated that the construction of these improvements and other regional circulation facilities will be financed by CFD 93-1 or some alternative financing mechanism in conjunction with the City of Beaumont's Comprehensive Public Facilities Financing Program (CPFFP), in which Heartland will contribute on a pro-rata share basis.

Heartland's on-site system is designed as a hierarchy of roadways which will distribute traffic in an efficient manner and organize the project into a series of residential enclaves. The on-site circulation system is comprised of the following components.

Potrero Boulevard. As previously indicated, Potrero Boulevard will provide the Heartland Community with a primary and secondary source of access. Potrero Boulevard represents an urban arterial highway, consisting of a 118 foot right-of-way, incorporating a 102 foot paved section inclusive of a 14 foot raised landscaped median. In addition, the Potrero Boulevard design will include a variable width expanded landscaped parkway treatment (12 foot minimum) with meandering sidewalk. See Exhibit III-4b, Roadway Cross Section G-G.

Collector Loop Road. Internal circulation will focus on the Heartland collector loop road which provides access to each of the planning areas within the Heartland community located south of San Timoteo Creek. The collector loop road will intersect with Potrero Boulevard at two locations, providing Heartland's primary and secondary market/community entries. The collector loop road will actually consist of three separate design criteria/standards to be applied as follows.

Collector Loop Road (Primary Community Entry). At the primary community entry, the Heartland collector loop road will consist of a 94 foot right-of-way and a 78 foot paved section inclusive of a 14 foot raised landscaped median. The design will accommodate four travel lanes in addition to left hand turn pocket/lanes where appropriate. See Exhibit III-3, Circulation Plan and Exhibit III-4b, Roadway Cross Section F-F. The raised landscaped median design will provide a physical barrier between the east and west bound traffic at the Potrero Boulevard intersection. In addition, this design feature will provide a greater degree of amenity and enhance the sense of arrival at the

project's primary community entry. In addition the collector loop road at this location will include an expanded parkway area of variable width but not less than 12 feet. The expanded parkway treatment will be appropriately landscaped to soften the transition between the collector loop road and the adjoining residential land uses.

Collector Loop Road (Secondary Community Entry). At the secondary community entry, the Heartland collector loop road will consist of a 70 foot right-of-way and a 58 foot paved section inclusive of a 14 foot raised landscaped median. See Exhibit III-3, Circulation Plan and Exhibit III-4a, Roadway Cross Section E₁ - E₁. The design will accommodate four travel lanes in addition to left hand turn pocket/lanes where appropriate. The raised median design will provide a physical barrier between the east and west bound traffic at the Potrero Boulevard intersection (north). In addition, this design feature will provide a greater degree of amenity and enhance the sense of arrival at the project's secondary community entry. Additionally, the collector loop road at this location will include an expanded parkway area of variable width but not less than 12 feet, along the south side of the right-of-way where the collector loop road interfaces with planning areas no. 1 and no. 2. It should be noted that for public safety reasons, the collector loop road's northern parkway, interfacing with the San Timoteo Creek, will consist of a five foot landscape strip exclusive of a sidewalk or other pedestrian accommodations.

Collector Loop Road (Northern Transition). Commencing from the first neighborhood entry into planning area no. 1, Heartland's collector loop road will transition from a 78 foot right-of-way to a 60 foot right-of-way incorporating two travel lanes and two parking lanes within a 44 foot paved section. See Exhibit III-3, Circulation Plan and Exhibit III-4b, Roadway Cross Section E₂ - E₂. The collector loop road (northern) transition design will eliminate the median and associated left turn pockets. However, the variable width expanded parkway area will be maintained in order to accommodate a meandering sidewalk and to soften the transition between the collector loop road and the adjacent residential enclaves. As with the preceding cross-section design, the collector loop road transition segment's northern parkway interfaces with San Timoteo Creek for a distance of approximately 2400 feet. As such, for public safety purposes, the collector loop transition road's northern parkway will consist of a five foot landscape strip exclusive of a sidewalk or other pedestrian accommodations.

Collector Loop Road (School Site Interface). For a distance of approximately 1200 feet, the collector-loop road will interface with the Heartland elementary school site. See Exhibit III-3,

Circulation Plan and Exhibit III-4b, Roadway Cross Section E₃ - E₃. This segment of the collector loop road will essentially be the same as the preceding example with the exception that the parkway area will be fitted with an expanded 10 foot sidewalk in order to accommodate the amount of pedestrian traffic anticipated to occur in conjunction with school activities, particularly arrivals and departures.

Collector Loop Road (Southern Transition). Commencing from the first neighborhood entry into planning area no. 1, the Heartland collector loop road will transition from a 94 foot right-of-way to a 60 foot right-of-way, incorporating two travel lanes and two parking lanes within a 44 foot paved section, see Exhibit III-3, Circulation Plan, and Exhibit III-4a, Roadway Cross Section D-D. The collector loop road (southern) transition design will eliminate the median and associated left turn pockets. However, the variable width expanded landscape parkway area will be maintained in order to accommodate a meandering sidewalk and to soften the transition between the collector loop road and the adjacent residential planning areas.

Collector Street. The primary function of this road segment is to collect and disperse residential trips emanating from planning area no. 1 into Heartland's collector loop road. The collector street will consist of a 66 foot right-of-way, and accommodate two travel lanes within a 44 foot paved section. In addition, the collector street's eastern parkway will include a 9 foot expanded landscaped condition which will accommodate a meandering style sidewalk. The collector street's western parkway will consist of a more conventional 11 foot parkway inclusive of a six foot curb adjacent sidewalk. See Exhibit III-3, Circulation Plan and Exhibit III-4c, Roadway Section H-H.

Local Collector Street. Local collector street will consist of 60 foot right-of-way and accommodate two lanes of traffic within a 40 foot paved section. In addition, local collector streets will possess two 10 foot parkways inclusive of a six foot curb adjacent sidewalk. See Exhibit III-3, Circulation Plan and Exhibit III-4a, Roadway Section C-C. The local collector street design will be applied to relatively long segments of residential streets which collect traffic from and disperse traffic to Heartland's main collector loop system.

Local Streets. Local streets will consist of a 60 foot right-of-way and accommodate two lanes of traffic within a 30 foot paved section. In addition, the local street design will possess two 12 foot parkways inclusive of a curb adjacent sidewalk. See Exhibit III-3, Circulation Plan and Exhibit III-4a, Street Cross Section B-B. The local street design alternative will be applied to residential streets of an intermittent length which collect traffic from and disperse traffic to either a local collector street and/or Heartland's primary collector loop system.

Short Local Streets. Short local streets will consist of a 50 foot right-of-way and accommodate two travel lanes within a 36 foot paved section. In addition, the short local street design will possess two 7 foot parkway ways inclusive of a 6 foot curb adjacent sidewalk. The short local street alternatives will be applied in relatively short cul-de-sac conditions. See Exhibit III-3, Circulation Plan and Exhibit III-4a, Street Cross Section A-A.

Industrial "Spine" Street. The industrial spine street will parallel San Timoteo Canyon Road and provide the primary access to the various industrial park components, terminating in a cul-de-sac at the respite park, planning area no. 8. By paralleling San Timoteo Canyon Road the industrial "spine" street serves, in effect, as a frontage road whereby future industrial parcels are provided access without impacting San Timoteo Canyon Road in terms of requiring frequent or numerous points of access. The industrial "spine" street will consist of a 60 foot right-of-way, incorporating two travel lanes and two parking lanes within a 44 foot paved section. See Exhibit III-3, Circulation Plan and Exhibit III-4c, Roadway Cross Section K-K. The southern parkway interfacing with San Timoteo Creek will be limited to a 5 foot landscape strip. The parkway on the north side interfacing with the industrial park planning area will be 11 feet wide, providing adequate area for a 6 foot sidewalk and additional streetscaping.

Industrial Collector Street. The industrial collector street will provide a secondary source of ingress/egress for the industrial park planning area, and shunt industrial park generated traffic away from the Potrero Boulevard/San Timoteo Canyon Road intersection. The industrial collector street will consist of a 78 foot right-of-way incorporating two travel lanes and a 12 foot median within a 56 foot paved section. See Exhibit III-3, Circulation Plan and Exhibit III-4c, Roadway Cross Section M-M. In addition, the industrial collector street will possess two 11 foot parkways with adequate area to accommodate a 6 foot sidewalk and additional street scaping.

Industrial Local Street. The industrial local street design will be applied to three cul-de-sacs emanating from the industrial "spine" street. These cul-de-sacs will provide access to industrial parcels as an alternative to providing additional points of ingress/egress from San Timoteo Canyon Road. As such, this design will reduce impacts to San Timoteo Canyon Road associated with additional right hand turn movements into the Heartland industrial center. The industrial local street will consist of a 66 foot right-of-way with sufficient space to accommodate two lanes of traffic within a 44 foot paved section. See Circulation Plan, Exhibit III-3 and Exhibit III-4c, Roadway Cross Section L-L. The industrial local street will also incorporate two 11 foot parkways with adequate area to accommodate a 6 foot sidewalk and additional streetscaping.

Non-vehicular Circulation. An important component to the Circulation Plan is the provision for pedestrian and bicycle oriented modes of travel. These non-vehicular opportunities compliment the overall circulation plan and include on-street bicycle lanes, multi-purpose trails and pedestrian walkways, all of which are linked to Heartland's active open space components. The provision for non-vehicular circulation opportunities will play an important role in reducing traffic and air quality related impacts as discussed in more detail in the Heartland Specific Plan Environmental Impact Report.

Sidewalks. Sidewalks adjacent to arterial roads and the collector loop road will feature a 5 foot meandering pathway to provide for safe pedestrian movement from the various residential enclaves to the open space, commercial and public facility land uses. In-tract designs will provide for non-meandering sidewalks adjacent to curbs in front of residential developments. To prevent unnecessary street crossings or an "attractive nuisance" condition, residential neighborhoods will incorporate sidewalks on both sides of the street.

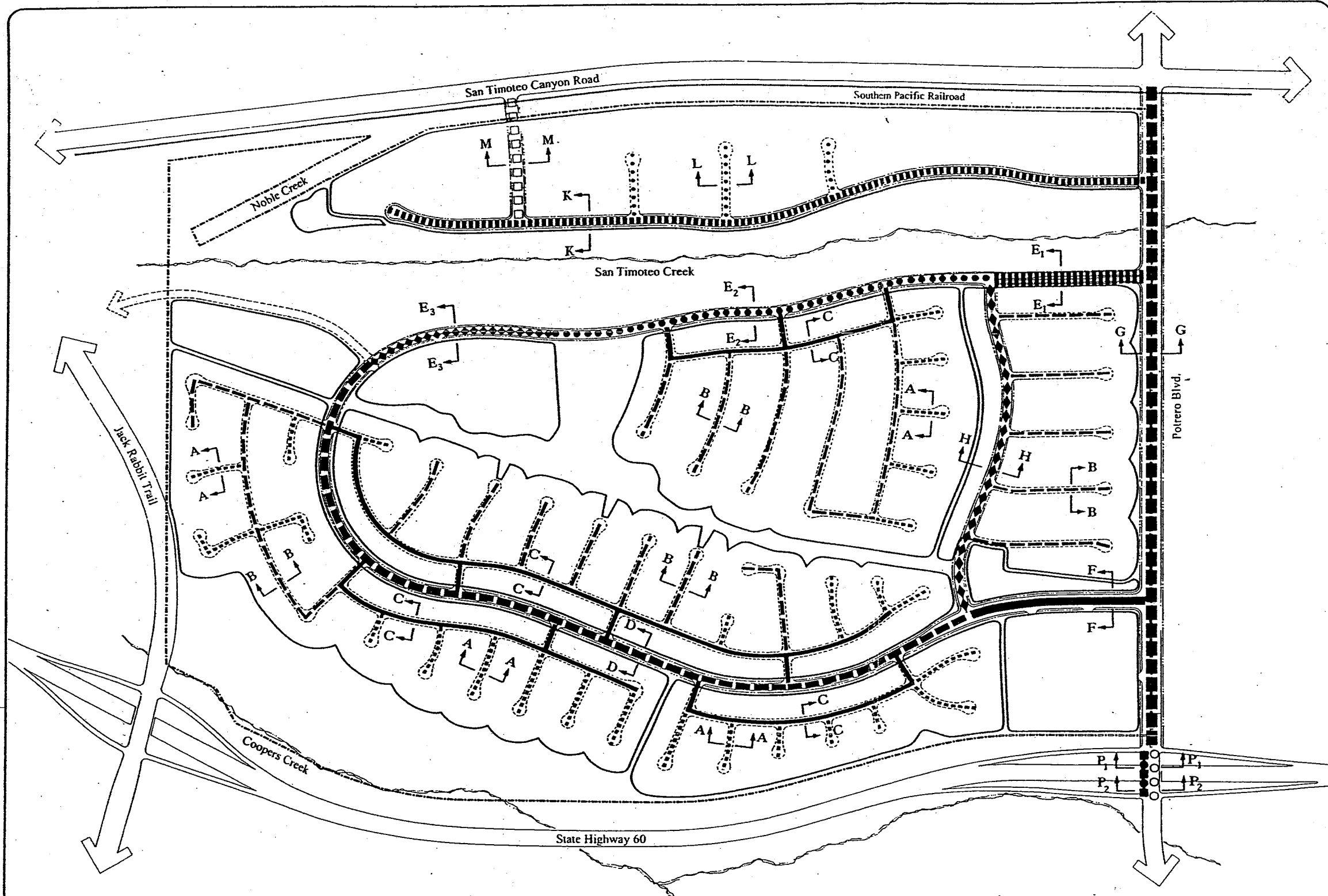
Multi-Purpose Trails. The 20.9 acre paseo sports park extends nearly the entire length of the Heartland Specific Plan in an east-west orientation following the Arco gas line easement. The paseo park provides a continuous multi-purpose trail system linked to a series of active recreational nodes and par-course activities. The paseo park and related trail system can be accessed from every residential enclave without utilizing a vehicle.

Park and Ride. Park and Ride opportunities could be incorporated into the 11 acre neighborhood commercial center and/or Heartland's industrial park complex. Mass transit will be encouraged as an alternative form of transportation by extending existing transit routes in the City of Beaumont to serve the Heartland community. In addition it is anticipated that bus turn outs and associated shelters will be provided at key locations along Heartland's collector loop system where warranted.

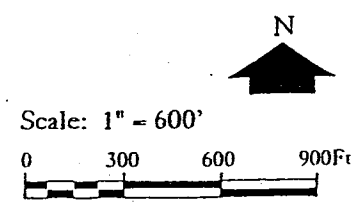
2. CIRCULATION PLAN STANDARDS

The following general standards shall be applied in the implementation of the Heartland Circulation Plan.

1. The Heartland Circulation Plan is based on sound planning principles in the establishment of a hierarchical circulation concept towards the safe and efficient movement of vehicular and pedestrian oriented traffic. In addition, the Heartland Circulation Plan has been further evaluated by the professional traffic engineering firm of Linscott, Law and Greenspan. On-site roadway improvements will be developed as illustrated by Exhibit III-3, Circulation Plan and Exhibits III-4a through III-4c, Roadway



Heartland Specific Plan Beaumont, California



Circulation Plan

- A - A Short Local (50' ROW)
- B - B Local (60' ROW)
- C - C Local Collector (60' ROW)
- D - D Collector Loop (60' ROW)
- ||||| E₁ - E₁ Collector "Loop" Street (North Entry - 70' ROW)
- E₂ - E₂ Collector "Loop" Street (60' ROW)
- ◆◆◆◆ E₃ - E₃ Collector "Loop" Street (60' ROW)
- F - F Major Entrance (94' ROW)
- G - G Urban Arterial (118' ROW)
- ◆◆◆◆ H - H Collector Street (66' ROW)
- ||||| K - K Industrial "Spine" Street (60' ROW)
- L - L Industrial Local Street (66' ROW)
- M - M Industrial Collector Street (78' ROW)
- ○ ○ ○ P₁ - P₁ Potrero Street Bridge and Highway 60 (80')
- ● ● ● P₂ - P₂ Potrero Street Bridge and Highway 60 (40')

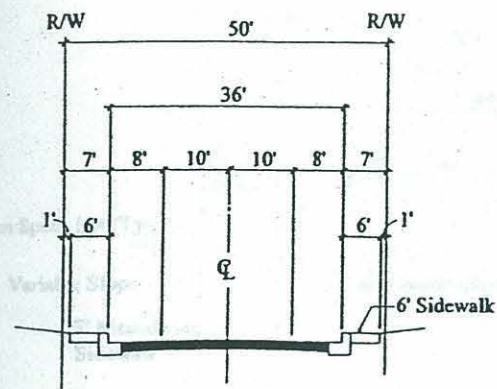
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Exhibit No.: III - 3

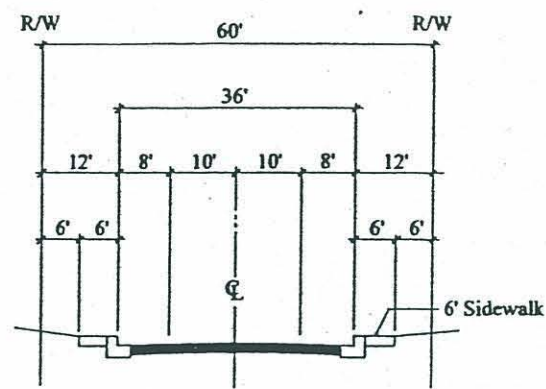
Prepared by Tandy Graphic

Roadway Sections

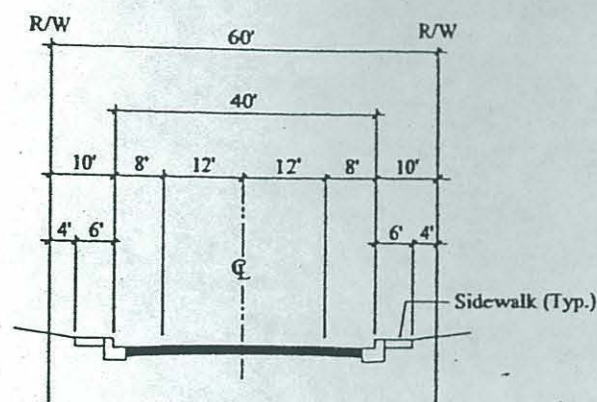
A - A Short Local



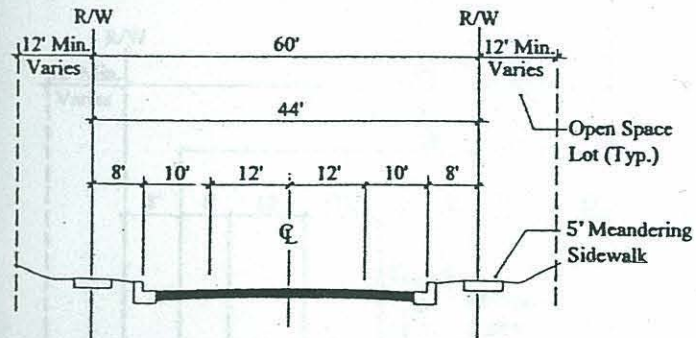
B - B Local



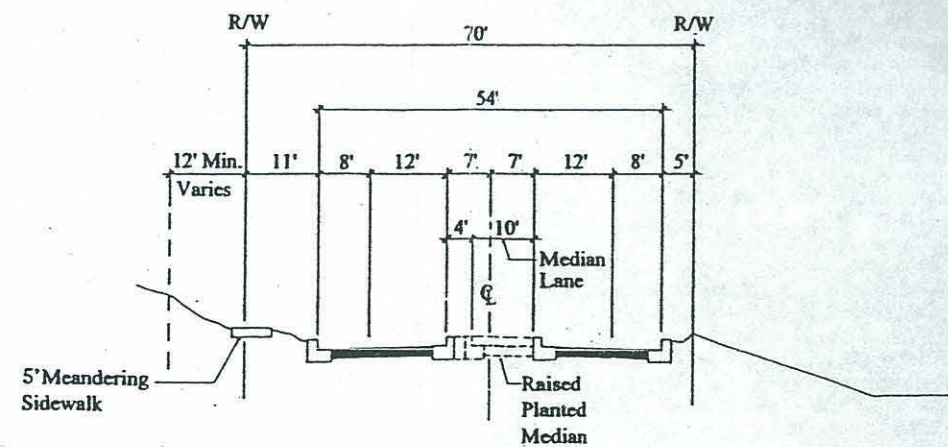
C - C Local Collector



D - D Collector Loop



E₁ - E₁ Collector "Loop" Street (North Entry)



Heartland Specific Plan Beaumont, California

Not to Scale

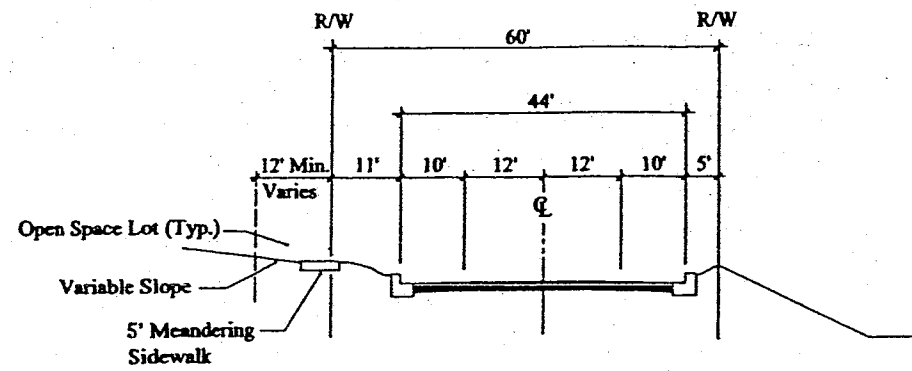
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Exhibit No.: III - 4a

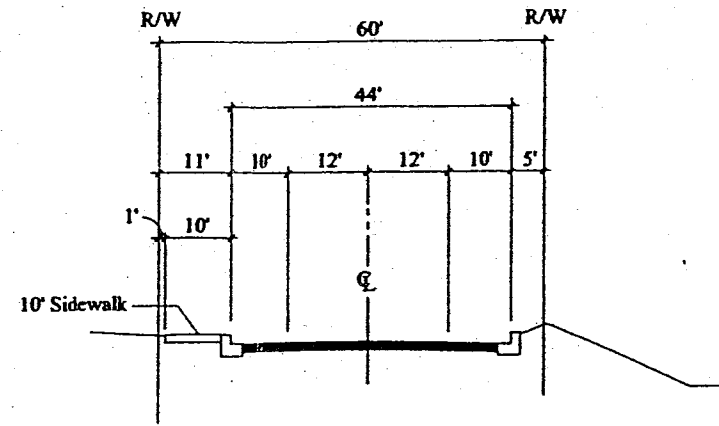
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Roadway Sections

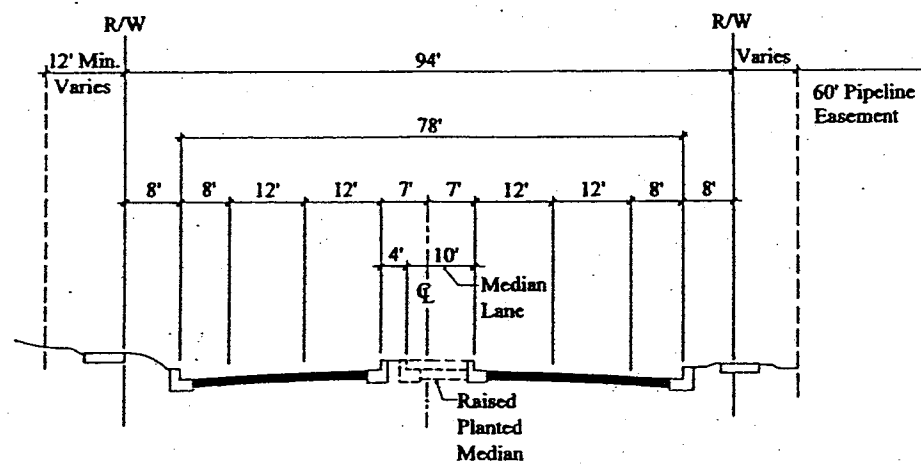
E₂ - E₂ Collector "Loop" Street



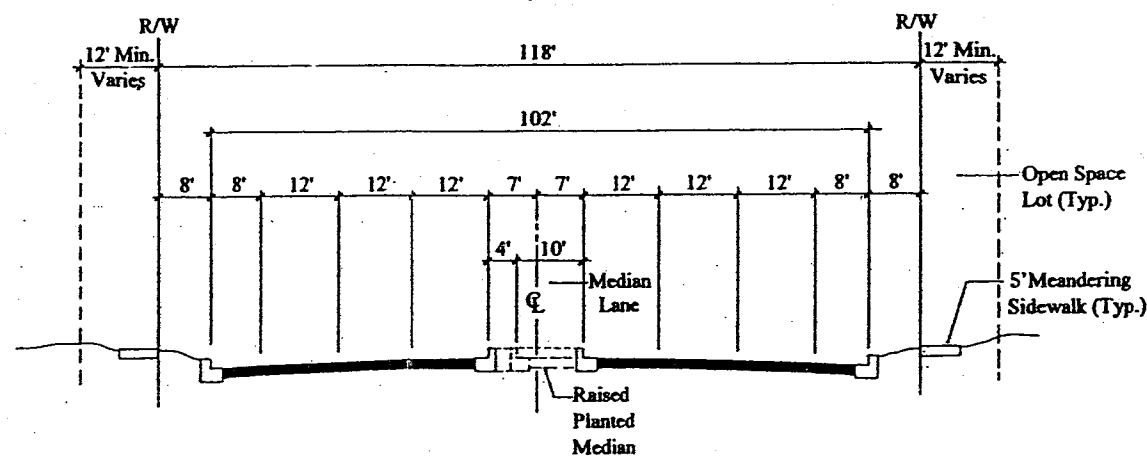
E₃ - E₃ Collector "Loop" Street



F - F Major Entrance



G - G Urban Arterial



Heartland Specific Plan
Beaumont, California

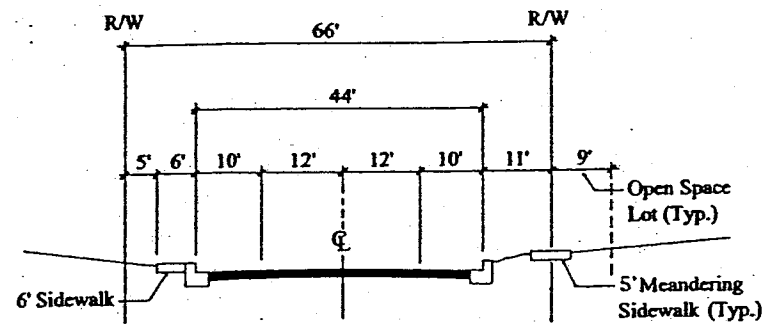
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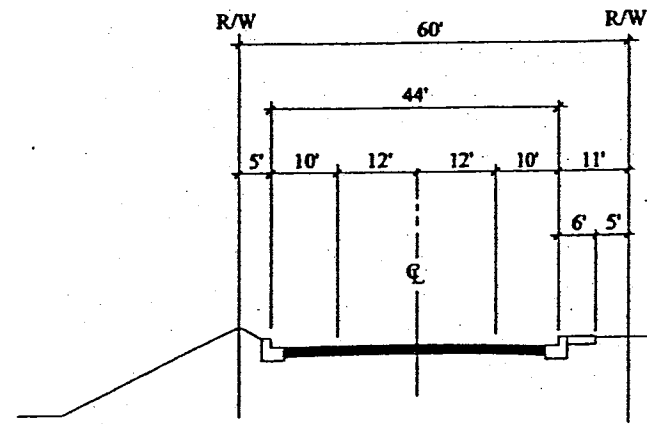
Exhibit No.: III - 4b

Roadway Sections

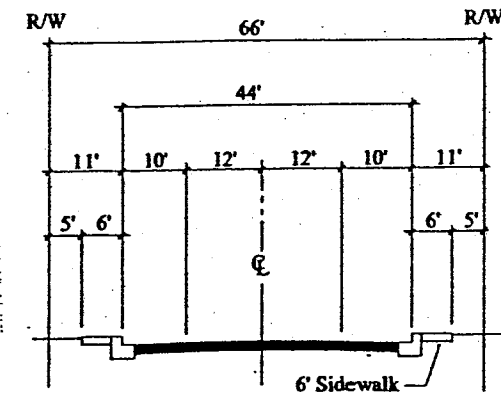
H - H Collector Street



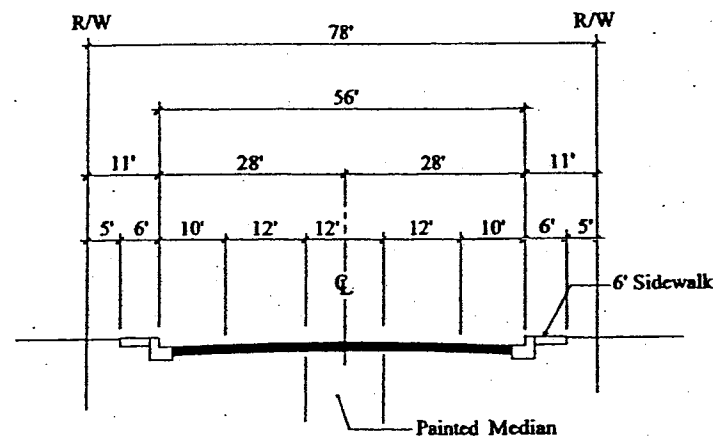
K - K Industrial "Spine" Street



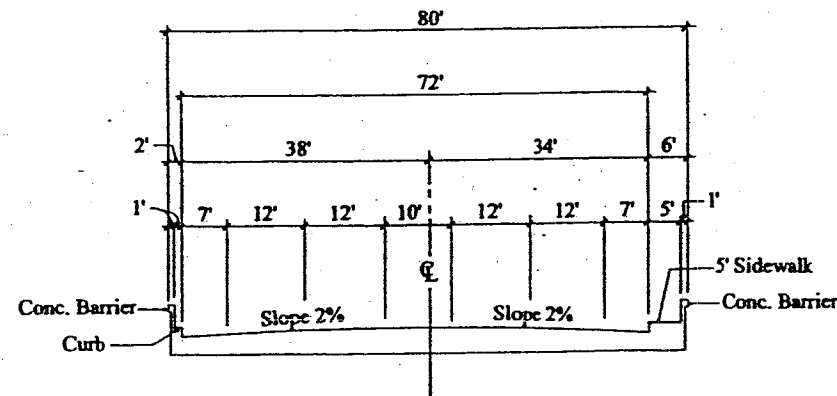
L - L Industrial Local Street



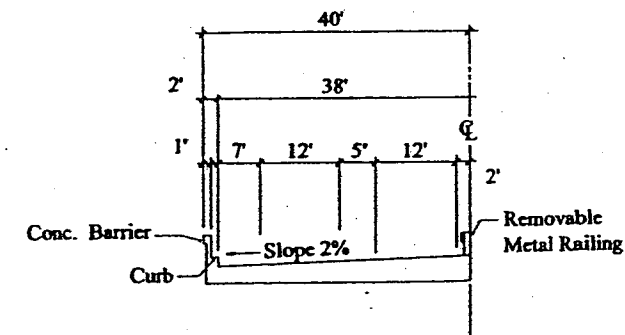
M - M Industrial Collector Street



P₁ - P₁ Potrero Street Bridge & Hwy 60



P₂ - P₂ Potrero Street Bridge & Hwy 60

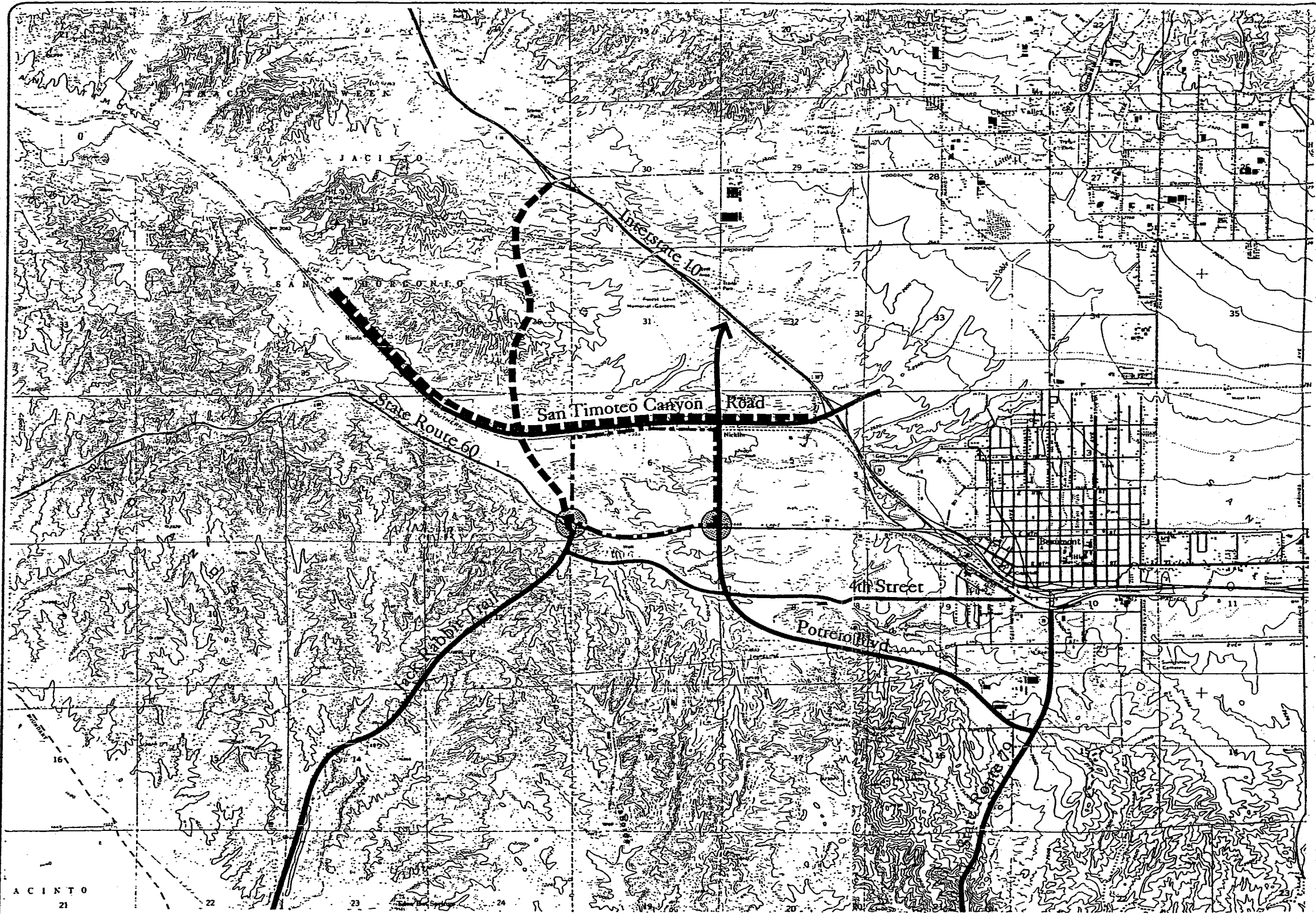


Heartland Specific Plan Beaumont, California

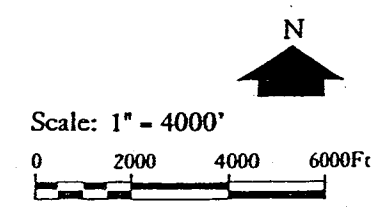
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H E A R T L A N D





Exhibit No.: III - 4c



Heartland Specific Plan Beaumont, California



General Plan Circulation

-  Major Collector
-  Primary Collector
-  Proposed Interchanges
-  Heartland Project Boundary

H E A R T L A N D

Exhibit No.: III - 5

Prepared by Tonally Graphic

Cross-sections. Dual left turn lanes and right turn lanes will be provided as required. Potrero Boulevard and associated State Route 60 bridge may receive half width improvements until such time that regional traffic influences warrant the development of Potrero Boulevard and associated bridge be improved to their ultimate configuration. It should be noted that the traffic study prepared in conjunction with the Heartland Specific Plan EIR has concluded that the aforementioned interim improvements are satisfactory to accommodate the build-out of the entire Heartland Specific Plan.

2. If necessary, additional traffic analysis may be required at the City of Beaumont's discretion for the phase of the development in process and as more detailed development plans are available by which to identify specific design parameters, phasing details, and additional mitigation strategies.
3. Roadways that are designed to accommodate high traffic volumes shall incorporate adequate provisions for safe and convenient pedestrian crossings. This is particularly critical in close proximity to the proposed Heartland elementary school and the Heartland paseo sports park complex. The collector loop system shall have adequately timed signal lights and median strips or islands at intersections to allow safe pedestrian movements. Pedestrian walkways shall be clearly delineated from traffic areas and set apart where practical. Separation techniques may include landscaping and other barriers. Walkways that cross streets shall have prominent markings and good sight distances for motorists and pedestrians.
4. All subdivisions shall comply with the street improvement recommendations outlined in the Heartland traffic study.
5. Heavy through traffic volumes shall be eliminated from residential neighborhoods. Major roadways will be designed as non-access/unloaded collectors, with residential neighborhoods served by local roads.
6. All landscaping treatments associated with the Heartland circulation network shall be consistent with the Heartland landscape plan, based on the street cross-section in accordance with Roadway Landscape Treatments illustrated by Exhibits III-22 through III-32 located in the Landscape Plan section of this document.
7. The design and construction of Heartland's circulation network including off-site improvements may be funded through a Community Facilities District (CFD), Assessment District (AD), Comprehensive Public Facilities Financing Program (CPFFP) or a similar mechanism initiated by the project proponent or the City of Beaumont. For in-tract improvements, the funding mechanism will be on a pro-rata share basis whereby the costs are equitably dispersed to and absorbed by the various land use components comprising the Heartland development. For off-site

improvements that are of a regional nature, the funding mechanism will be on a pro-rata share basis whereby the Heartland development funds an equitable share of the design and improvement cost, based on regional development related factors and influences.

8. The Heartland roadway network shall be constructed in compliance with the City of Beaumont standards as a requirement of subdivision implementation and subject to approval by the City Engineer.
9. Landscaped medians are proposed for incorporation into the Heartland Loop road system and Potrero Boulevard as illustrated in Exhibit III-4b of the Circulation Plan and Exhibit III-16 of the Landscape Plan contained herein.
10. All streets delineated on the Heartland Circulation Plan will be dedicated as public right-of-way and maintained as such. Therefore, it is anticipated that said streets will not be private or gate guarded.
11. Mass transit accommodations, such as bus turnout lanes, bus shelters and park and ride reserves will be provided. Ride-sharing pools for on-site employment opportunities and off-site commuters should be encouraged.
12. A Transportation Management Association (TMA) for the commercial and industrial areas will include an employee transportation coordinator. Ride pool data will be established and should be made available to individuals working within Heartland's commercial and industrial centers.
13. Traffic signal synchronization will be provided where feasible.
14. Vehicle trips generated by the buildout of the Heartland community should be further reduced through implementing the following traffic management techniques.
 - Encourage the establishment of a program within the industrial park complex whereby work schedules are alternated in such a manner as to stagger the peak hour volumes, if warranted.
 - Encourage the establishment of a telecommuting program for the Heartland community or participation in an existing program sponsored through the County of Riverside and/or the Riverside Transit Authority.
 - Providing dedicated turn lanes as appropriate.
 - Limiting on-street parking, particularly along Heartland's collector roads.

E. SPECIFIC PLAN: Drainage Plan

The ensuing discussion will be divided into two (2) subsections: Improvement Description and Improvement Standards.

1. DRAINAGE PLAN DESCRIPTION

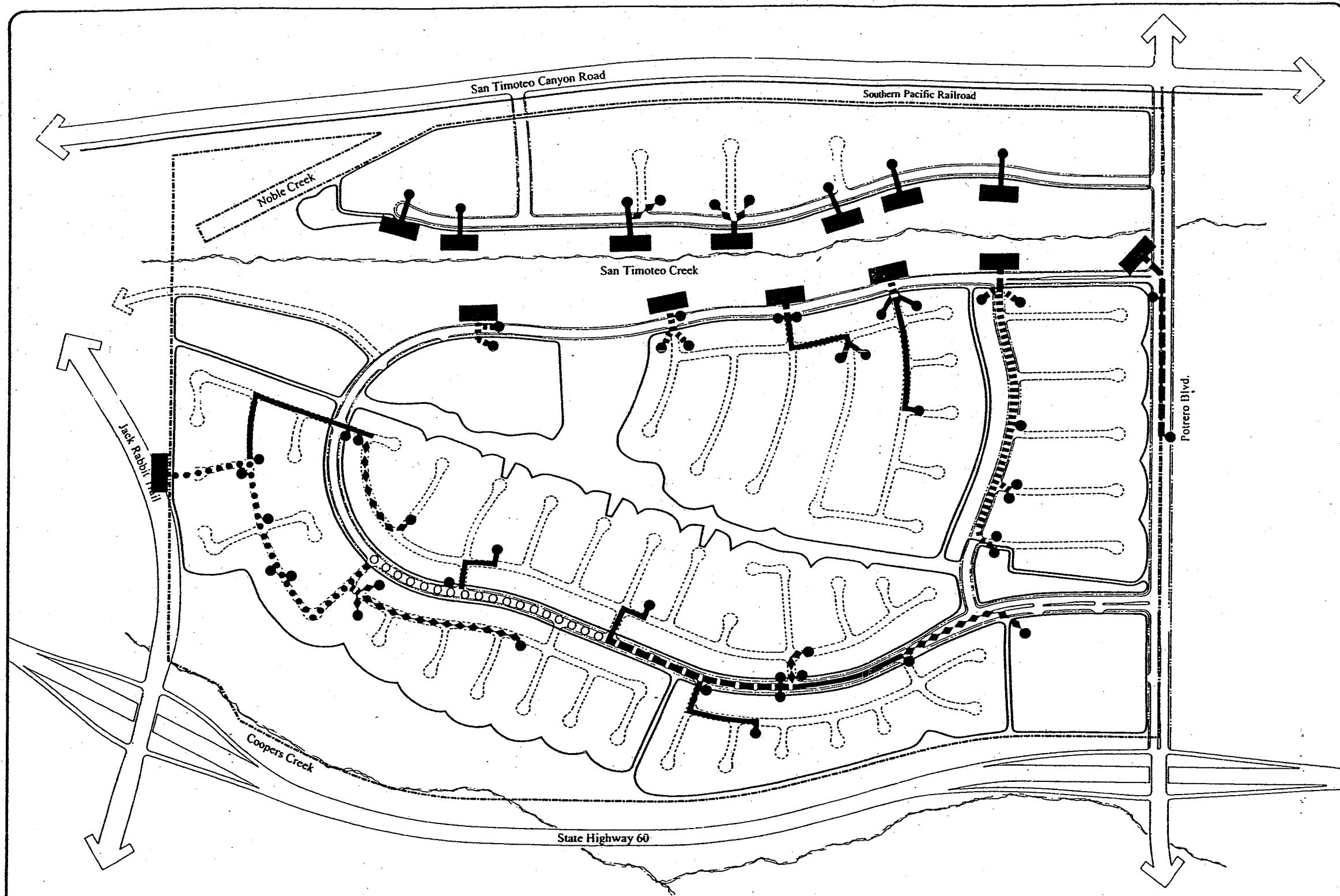
The drainage improvement concept proposed for the Heartland Specific Plan reflects a commitment to the retention of natural drainage patterns, drainage corridors, and the aesthetic quality inherent therein. The major drainage consideration in this regard is San Timoteo Creek and its associated 100-year flood plain. In those areas of the Heartland development where minor natural drainage courses are interrupted, a storm drain system is planned to collect and convey storm water as illustrated by Exhibit III-6, Drainage Plan. Towards this end, the drainage plan concept has been designed to contain ten-year storm flows within the street curb area and a 100-year storm will be contained within the street right-of-way. Storm drains will be provided where either condition is exceeded.

The development of the subject site will increase on-site storm runoff by 2 to 3 percent due to an increase in impervious surfaces. This increase in quantity and velocity of flows will be accommodated by the incorporation of retention basins in combination with various energy dissipation techniques such as rip-rap. These design techniques in combination with perpetuating natural drainage areas will result in a no-net increase in quantity and velocity of flows emanating from the developed areas.

Recent requirements precipitated by the 1987 Clean Water Act relative to NPDES permits prohibit many of the storm drain design practices employed in the past in order to improve the water quality associated with urban runoff. The implementation of this permit process shall require that specific Best Management Practices (BMP's) be incorporated into the storm drain system design and during the various phases in the development process, i.e., grading, construction, etc.

For those planning areas adjacent to San Timoteo Creek, the "first flush" runoff will be conveyed to water quality control inlets designed to comply with BMP's criteria for the control of urban pollutants associated with storm drain runoff. These types of facilities will protect the natural drainage courses and related ground water basins from increases in the velocity of runoff and decreases in water quality.

Drainage facilities used to control decreases in water quality and/or increases in runoff velocity will be incorporated throughout the project. Said facilities will consist of but are not limited to the following techniques: detention

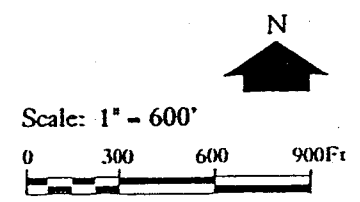


Drainage Concept

- ◆◆◆◆ 18" Storm Drain
- 24" Storm Drain
- 30" Storm Drain
- 36" Storm Drain
- 42" Storm Drain
- 54" to 78" Storm Drain
- Catchment Basin
- Drainage Outlet

Source: Trans-Pacific Consultants

Heartland Specific Plan Beaumont, California



H E A R T L A N D

Exhibit No.: III - 6

Prepared by Toddly Graphic

basins, vegetated swales, water quality control inlets, energy dissipaters, infiltration trenches and porous pavement applications.

2. DRAINAGE PLAN STANDARDS

In order to ensure the orderly development of Heartland's storm drain system, the drainage plans as described above will be subject to the following general standards and principles.

1. The storm drain sewer lines and associated catch basin location and site are illustrated in Exhibit III-6. The precise system layout and sizing will be determined during the final engineering phase of the tract map recordation process.
2. The ultimate storm drain design will be subject to the requirements and standards of the City of Beaumont Flood Control Standards including the following design parameters.
 - All building pads will be free from flood hazards associated with the 100-year frequency storm event by elevating finished floor elevations one foot above said 100-year level flood event; and
 - Depth of flows conveyed by Heartland's internal street system will not exceed top of curb elevations for the 100-year storm frequency.
3. Drainage improvements located within the 100-year flood plain will be designed to ensure the conveyance of the 100-year design flows which may include potential bulked flow rates to account for large off-site areas that are currently undeveloped but have the potential for urbanization.
4. Water courses that are delineated on the existing drainage exhibit and the associated 100-year flood plain will be kept free of all buildings and obstructions unless drainage improvements are constructed.
5. In conjunction with future development proposals, i.e., plot plans, tentative tracts, etc., the proposed interior street infrastructure and grading design will be coordinated to ensure that there are no major diversions between drainage areas.
6. The design of all interior storm drain conveyance systems will be in accordance with criteria established by City of Beaumont guidelines. Flood flows to be used for the design of waterways, channels and closed conduits shall have minimum acreage recurrence intervals as follows:
 - Storm drain systems will be designed and based on a minimum 10-year frequency.

- When sump conditions are encountered, a 25-year frequency criteria will be applied and a connected system will be designed to completely convey 100-year runoff, with a secondary outlet to assure the water surface is one foot below the proposed pad elevations.
7. On-site public drainage facilities located outside of the road right-of-way will be contained in drainage easements.
 8. Streets will be oriented to maximum potential conveyance of regional flooding during significant storms to expedite the flow through the development.
 9. The project will be phased so that 100-year flood protection is ensured in all areas of the development. Interim improvements will be required as phasing of the development progresses.
 10. The project proponent/applicant shall be required to retain any increased drainage on site until such time as a viable drainage master plan is implemented. Development proposed following implementation of such a drainage master plan must be done in accordance with the approved drainage master plan.
 11. Best Management Practices (BMP) will be implemented to enhance pollutant removal during storms, and to improve the quality of storm water runoff. BMP refers to structural or non-structural pollution control measures which reduce the amount of non-point source pollution entering the Waters of the United States, and may be either non-structural or structural. The former group includes those BMP's in which pollutants are kept from ever coming in contact with the storm water; the latter group consists of various methods of treating storm water.
 12. The following non-structural BMP's are recommended:
 - Routine inspection of catch basins, before and after the storm seasons, including their cleaning to remove sediment and debris with absorbed pollutants.
 - Guidelines for fertilizer and pesticide control usage, including proper application rates for the local area and soil type, will be defined and adhered to.
 - Erosion control measures, to mitigate the effects of erosion on open slopes adjacent to the development, will be defined and adhered to, and will be part of all required grading permit approvals.
 13. Non-structural BMP's shall be the responsibility of the development's homeowner's maintenance associations, or as approved by the City Engineer.

14. If structural BMP's are required, the following mitigation measures will be used depending upon site conditions and ultimate discharge requirements:

- Vegetated swales and biofilters.
- Infiltration trenches.
- Water quality ponds or detention basins for "first-flush" runoff.
- Water quality inlets.
- Porous pavement.

15. Prior to development of upstream areas, the potential for the conveyance of debris by the off-site watershed will be accounted for in design of on-site drainage facilities in order to avoid abrasive erosion in certain drainage facilities and maintenance problems for facilities located within the floodplain.

16. Watercourses and 100-year floodplains shall be kept free of all structures and obstructions unless drainage improvements are constructed. Watercourses that remain natural shall be mapped as a 100-year floodplain and an additional setback from the watercourse shall be provided for any potential embankment erosion. The watercourses adjacent to development will be designed to include grade stabilization structures to stabilize the watercourse and help prevent embankment erosion. The design of the watercourse shall allow for three (3) feet of freeboard within the watercourse.

17. Inspection and maintenance of public storm drain systems shall be performed by the Director of Public Works. The project proponent shall participate in the formation of a Community Service Area (CSA) or similar mechanism to fund the ongoing inspection and maintenance of the public storm drain system.

18. Monitoring of groundwater levels, surface flows and water quality conduit should occur for no less than twelve months in order to provide an accurate determination of groundwater levels and seasonal fluctuations.

F. SPECIFIC PLAN: Water and Sewer Plan

The following discussion will be presented in two sections corresponding to improvement description and improvement standards.

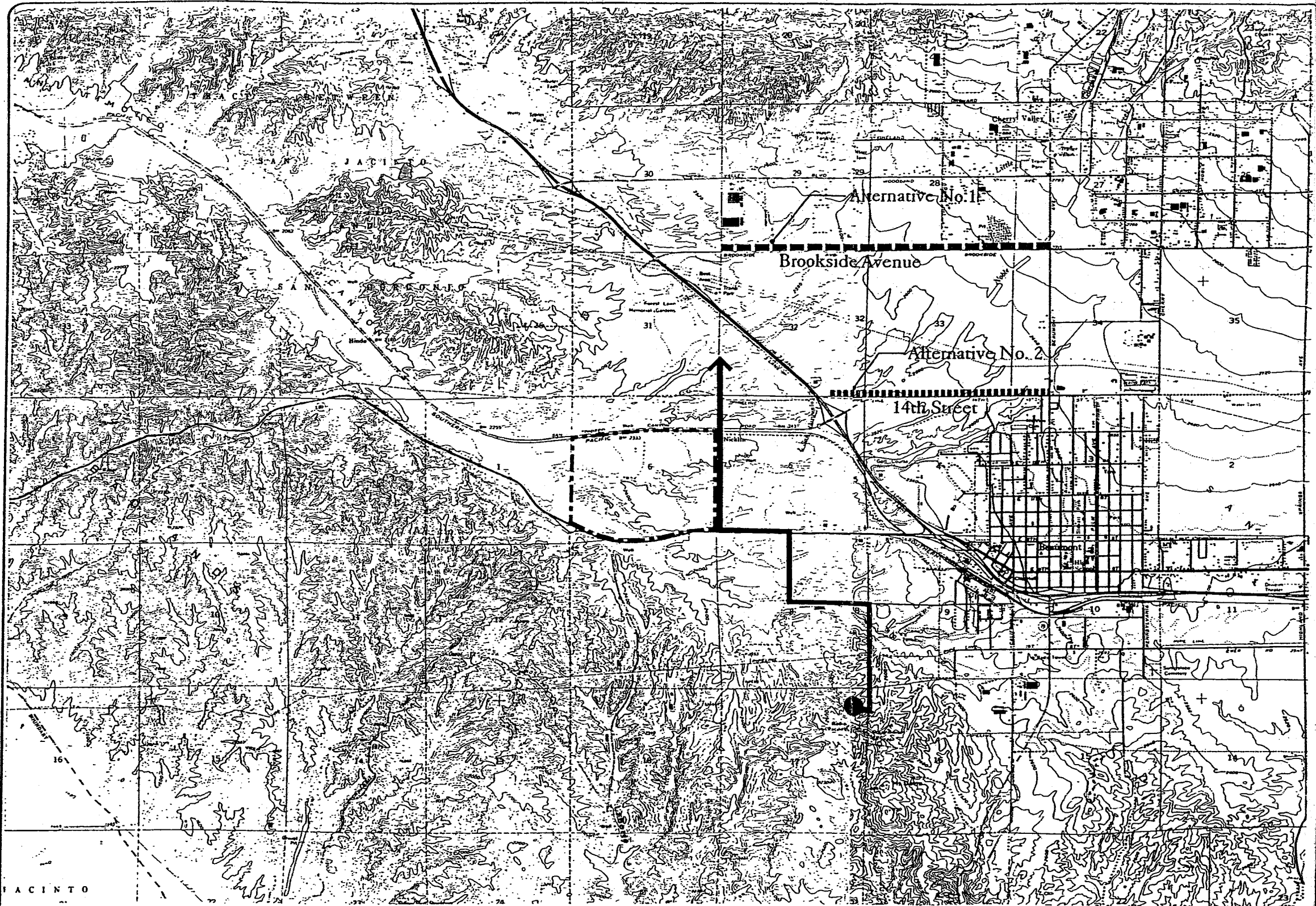
I. WATER PLAN DESCRIPTION

The Heartland Specific Plan is located within the boundary of the Beaumont Cherry Valley Water District (BCVWD) and within the boundary of the San Geronio Pass Water Agency (SGPWA). BCVWD is the water retailer for the project area, while SGPWA functions as the water wholesaler. BCVWD currently relies on extraction of groundwater from the Beaumont Groundwater Basin, Edgar Canyon and Little San Geronio Canyon. SGPWA currently is in the planning stages to construct imported water facilities which will deliver additional water from the state water project to the service area.

Currently, the subject site lacks an urban level source of domestic water and as such the Heartland Specific Plan will require both off-site regional improvements and on-site improvements to accommodate the proposed development.

From a regional perspective, a 24-inch distribution main is proposed within the Potrero Boulevard right-of-way which will be fed by an existing distribution main located within Brookside Avenue or 14th Street as illustrated by Exhibit III-7, Regional Water System. The 24-inch Potrero Boulevard distribution main will in turn be extended to a proposed 5 million gallon reservoir to be located south easterly of the subject site at elevation 2,600±. It should be noted that the project proponent is participating in CFD 93-1 as a mechanism by which to fund the design and construction of regional domestic water distribution improvements. The 5 million gallon reservoir is necessary in order to provide adequate storage and pressure to service the Heartland project and other properties in the vicinity located in Heartland's pressure zone.

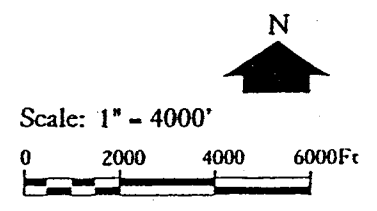
In addition to the Potrero Boulevard 24-inch distribution main, Heartland's on-site design will reflect a loop system consisting of a 12-inch distribution main within Heartland's collector street and industrial complex with the remaining residential streets serviced by 8-inch lines extending off the 12-inch collector street distribution main. See Exhibit III-8, Proposed Water System.



Regional Water System

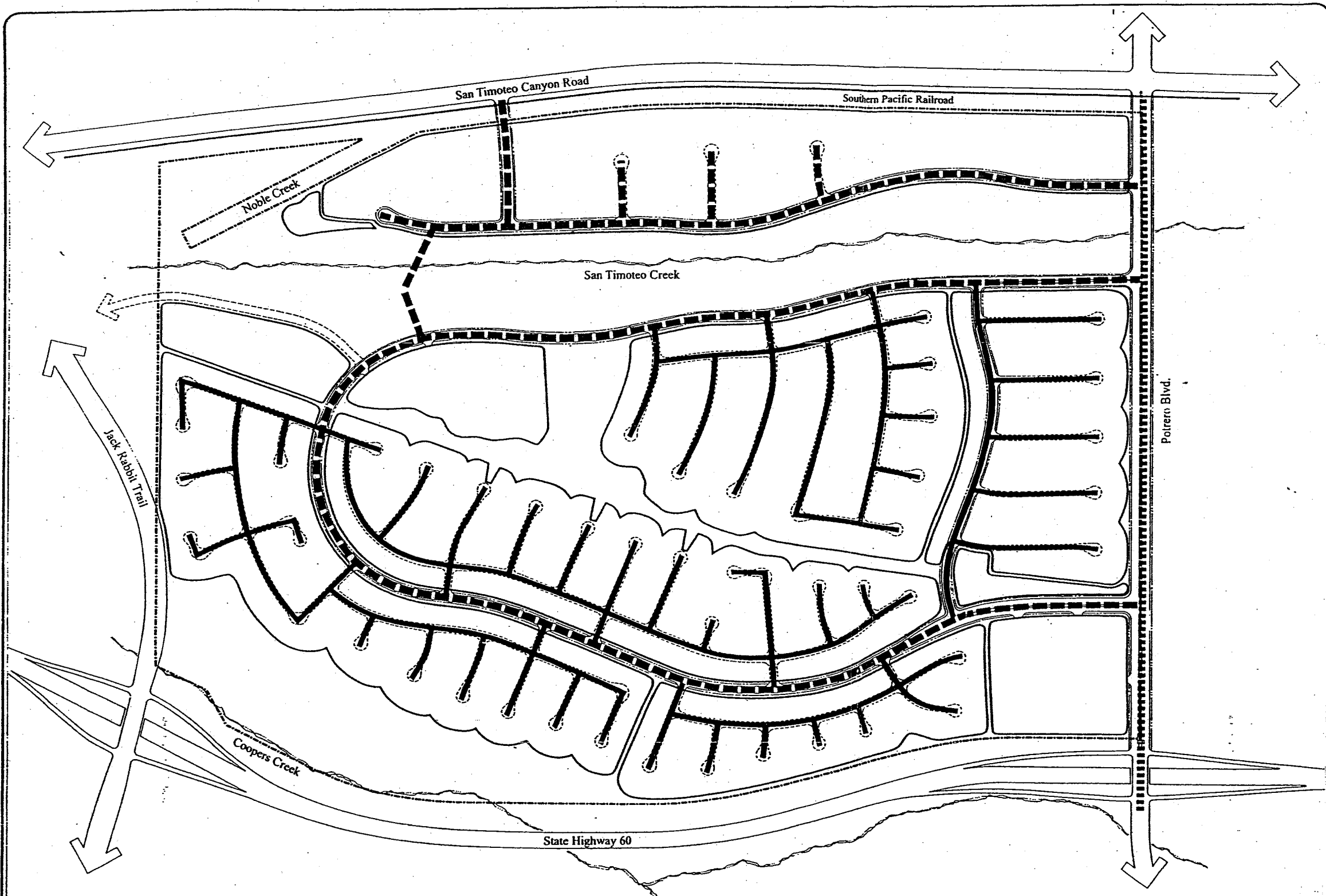
- — — Existing 12" Distribution Main
- Existing 16" Distribution Main
- Proposed 24" Distribution Main
- Proposed 5 Mg. Reservoir
- - - - Heartland Project Boundary

Heartland Specific Plan Beaumont, California



H E A R T L A N D

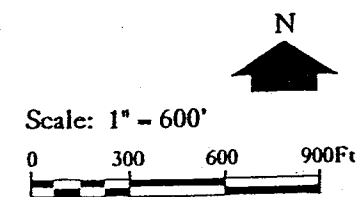
Exhibit No.: III - 7



Proposed Water System

- 24" Water Line
- 12" Water Line
- 8" Water Line

Heartland Specific Plan Beaumont, California



H E A R T L A N D

Exhibit No.: III - 8

2. CONSERVATION MEASURES

Interior

- Supply line pressure: Water pressure greater than 50 pounds per square inch (psi) to be reduced to 50 psi or less by means of a pressure-reducing valve.
- Drinking fountains: Drinking fountains will be equipped with self-closing valves.
- Laundry facilities: Water-conserving models of washers to be used.
- Restaurants: Water-conserving models of dishwashers to be used or spray emitters that have been retrofitted for reduced flow. Drinking water to be served upon request only.
- Ultra-low-flush toilets: 1-1/2-gallon per flush toilets to be installed in all new construction.

Exterior

- Landscape with low-water-using plants wherever feasible.
- Minimize use of lawn by limiting it to lawn-dependent uses, such as playing fields. When lawn is used, require warm season grasses.
- Group plants of similar water use to reduce over-irrigation of low-water-using plants.
- Provide information to occupants regarding benefits of low-water-using landscaping and sources of additional assistance.
- Use mulch extensively in all landscaped areas. Mulch applied on top of soil will improve the water-holding capacity of the soil by reducing evaporation and soil compaction.
- Install efficient irrigation systems that minimize runoff and evaporation and maximize the water that will reach the plant roots. Drip irrigation, soil moisture sensors, and automatic irrigation systems are a few methods of increasing irrigation efficiency.
- Use pervious paving material whenever feasible to reduce surface water runoff and to aid in ground water recharge.
- Grade slopes so that the runoff of surface water is minimized.

- Investigate the feasibility of using reclaimed wastewater, stored rainwater, or gray water for irrigation.
- Preserve existing natural drainage areas and encourage the incorporation of natural drainage systems in new developments. This aids ground water recharge.
- To aid in ground water recharge, preserve floodplains and aquifer recharge areas as open space.

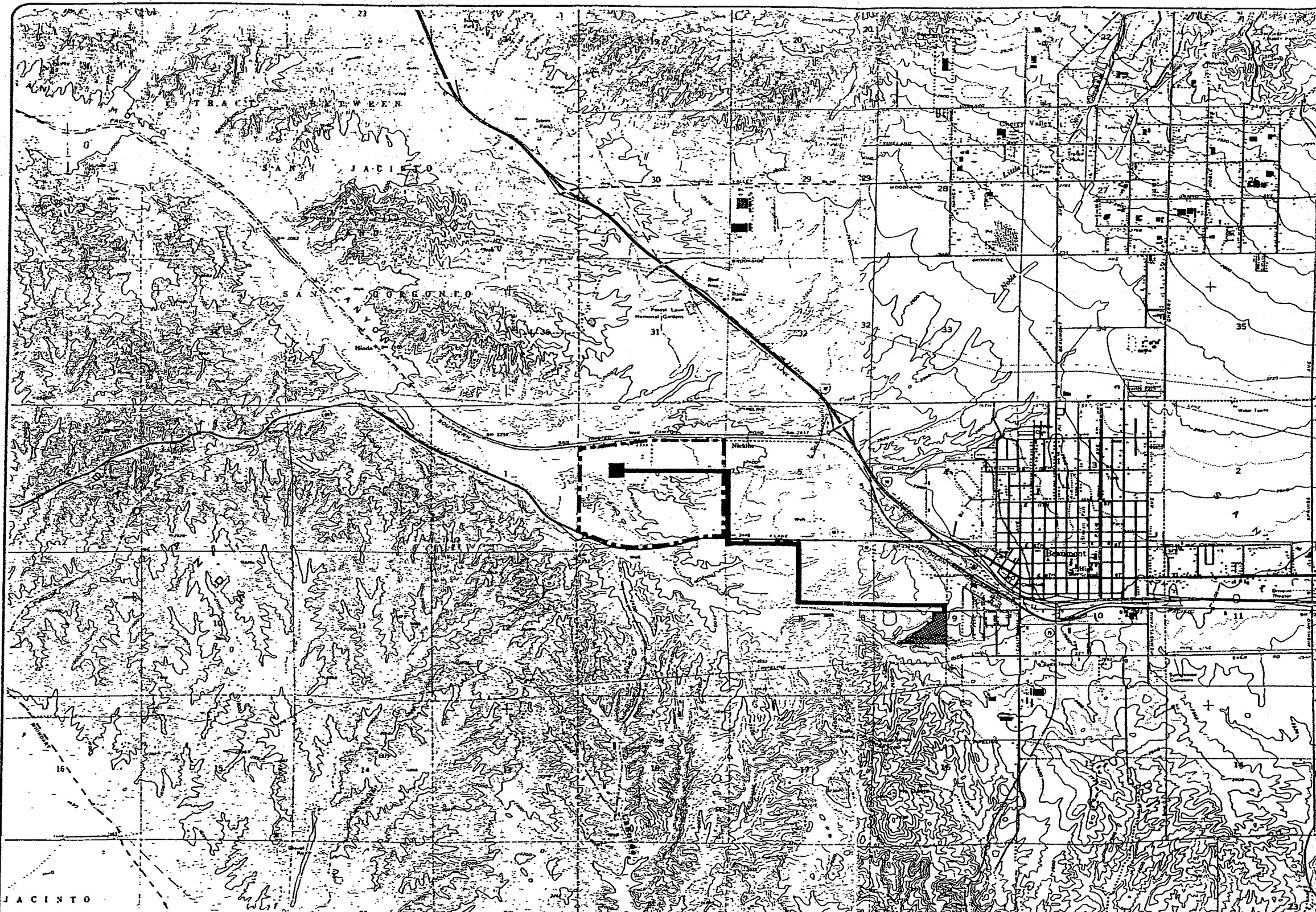
3. SEWER SERVICE DESCRIPTION

The Heartland Specific Plan is located within the sewer service area of the City of Beaumont. The City of Beaumont currently operates a 1,000,000 gallon per day wastewater/sewage treatment plant which will ultimately service the Heartland development. The treatment plant in its current condition is operating over its design capacity of 826,000 gallons per day, and treated effluent from the plant does not comply with State Regional Water Quality Control Board Title 22 water quality standards. In June, 1993, the City of Beaumont formed Community Facilities District (CFD) 93-1, of which Heartland is a participant. CFD 93-1 in combination with sewer revenue bonds applied to existing users provides the funding source for the expansion of the wastewater treatment plant and upgrade of the treatment process to comply with State Regional Water Quality Control Board requirements. Completion of a plant upgrade and expansion to 1.5 mgd is targeted for March 1994, and the Heartland project has financed and reserved capacity for 204 connections in the upgraded plant for its initial phases of development.

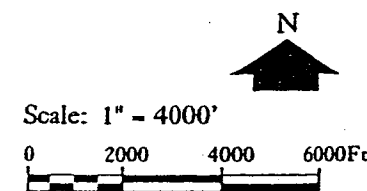
Currently there are no sewer trunk mains extended to the subject site and as such the Heartland Specific Plan will require both off-site regional improvements and on-site localized improvements to accommodate the proposed development.

From a regional perspective, Heartland is located "downstream" from the City of Beaumont's sewer treatment plant and therefore a 1.5 million gallon (mg) lift station and associated 6-inch forced main is proposed to convey effluence produced at Heartland to the City of Beaumont's sewer treatment plant. See Exhibit III-9, Regional Sewer Facilities.

In addition to the aforementioned 1.5 million gallon lift station and 6-inch force main, Heartland's on-site sewer system will consist of 12, 10, and 8-inch gravity sewer lines that extend from the various residential and industrial enclaves, culminating at the lift station as illustrated by Exhibit III-10, Proposed Sewer System.



Heartland Specific Plan Beaumont, California

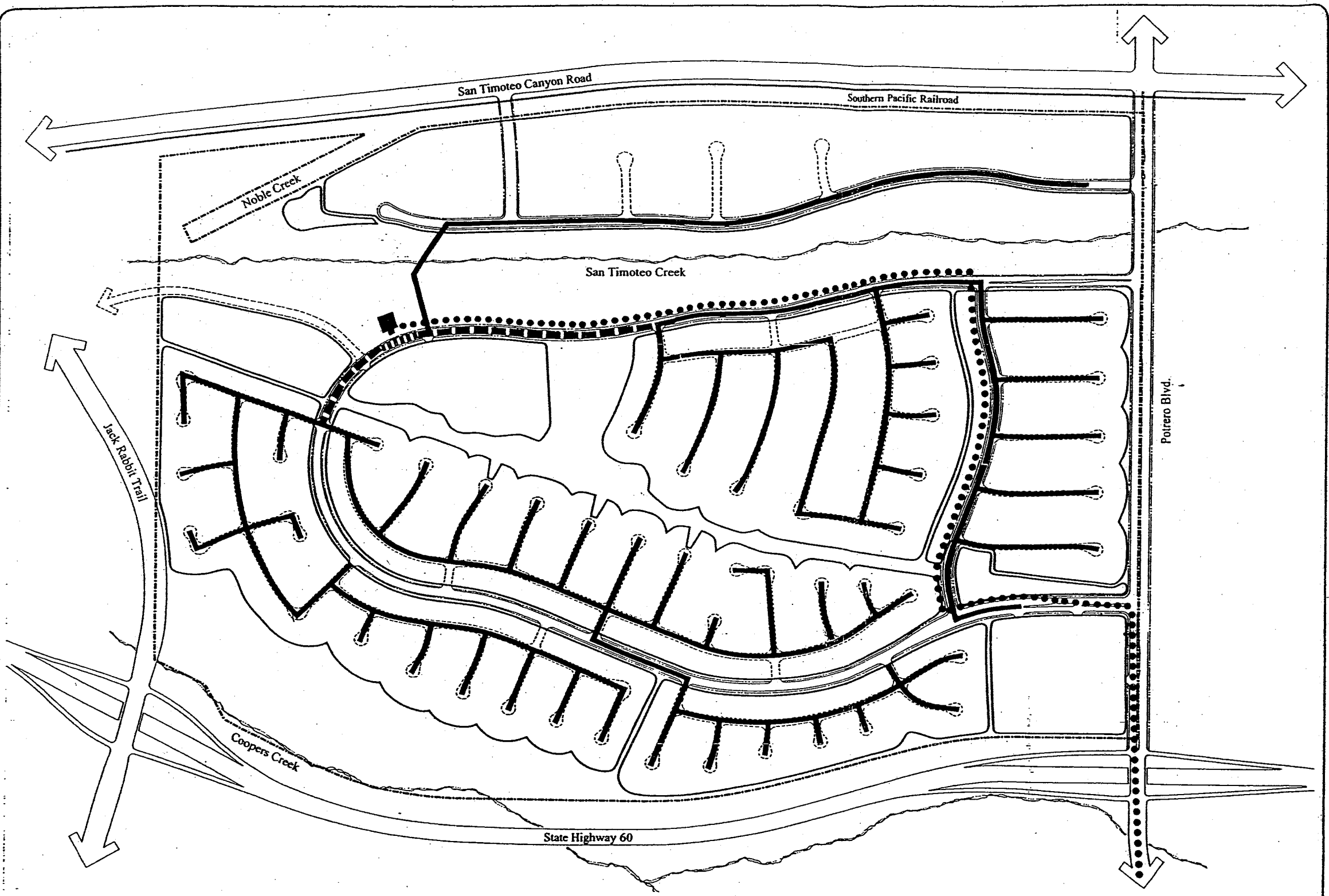


Regional Sewer Facilities

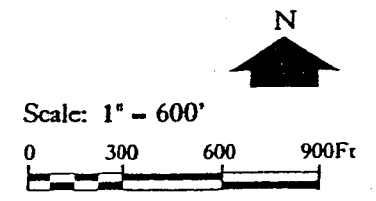
- 1 Mg. Lift Station
- 6" Gravity Main
- ▨ City of Beaumont Sewer Treatment Plant
- - - Heartland Project Boundary

H E A R T L A N D

Exhibit No.: III - 9



Heartland Specific Plan Beaumont, California



Proposed Sewer System

- 12" Gravity Sewer Line
- - - - - 10" Gravity Sewer Line
- 8" Gravity Sewer Line
- 6" Force Main
- Lift Station

H E A R T L A N D

Exhibit No.: III - 10

Prepared by Toddly Graphic

4. WATER AND SEWER PLAN STANDARDS

Water and sewer plan general principles and standards listed below will be adhered to:

1. All domestic water distribution mains and related storage facilities will be designed to meet BCVWD requirements in addition to Riverside County Fire Department criteria relative to fireflows.
2. All water and sewer lines shall be underground facilities.
3. All sewer service improvements shall be constructed in accordance with the City of Beaumont's design requirements.
4. All sewer service improvements shall be maintained by the City of Beaumont.
5. All water and sewer lines will be sized to adequately service potential future growth.
6. The cost associated with the construction of any over-sized lines if necessary to accommodate off-site developments shall be the responsibility of those being served, consistent with the rates and regulations of the City of Beaumont and BCVWD.
7. Assurances for the provision of adequate water service and sewer capacity will be required prior to the recordation of a final tract map in accordance with the State Subdivision Map Act. In conjunction with the final record map process, the City of Beaumont will review water and sewer demands for conformance with design requirements and for the ability to serve.

G. SPECIFIC PLAN: Solid Waste Disposal Plan

The ensuing discussion will be divided into two sections corresponding to Solid Waste Disposal Plan Description and Standards.

1. SOLID WASTE DISPOSAL PLAN DESCRIPTION

Solid waste pick-up and disposal will be by private contractor as approved by the City of Beaumont with disposal targeted for the Lamb Canyon Landfill. Green waste, cuttings and clippings will be disposed of separately when the City of Beaumont's composting plant becomes operational, providing that private or municipal pick-up service has been authorized. Solid waste trash enclosures will be provided for all commercial and industrial land uses.

2. SOLID WASTE DISPOSAL PLAN STANDARDS

The solid waste standards to be followed in the implementation of the Heartland Specific Plan are as follows:

1. The refuse hauler serving the Heartland community shall be advised of the efforts the developers will be pursuing relating to recycling and waste reduction (i.e., curbside recycling, buy-back centers, etc.). The use of such facilities will be encouraged by the developer through information dissemination, i.e., locations, materials accepted, etc.
2. The developer shall pursue and implement any available source reduction programs for the disposal of construction materials to the satisfaction of the City of Beaumont Planning Department.
3. The City of Beaumont shall review the number, size and location of solid waste bin enclosures for commercial and industrial land uses through the plot plan and use permit process.
4. The developer shall participate in any established city-wide program to reduce solid waste generation.

H. SPECIFIC PLAN: Project Phasing Plan

The following phasing plan discussion will be divided into two subsections corresponding to Phasing Plan Description and Phasing Standards.

1. PHASING PLAN DESCRIPTION

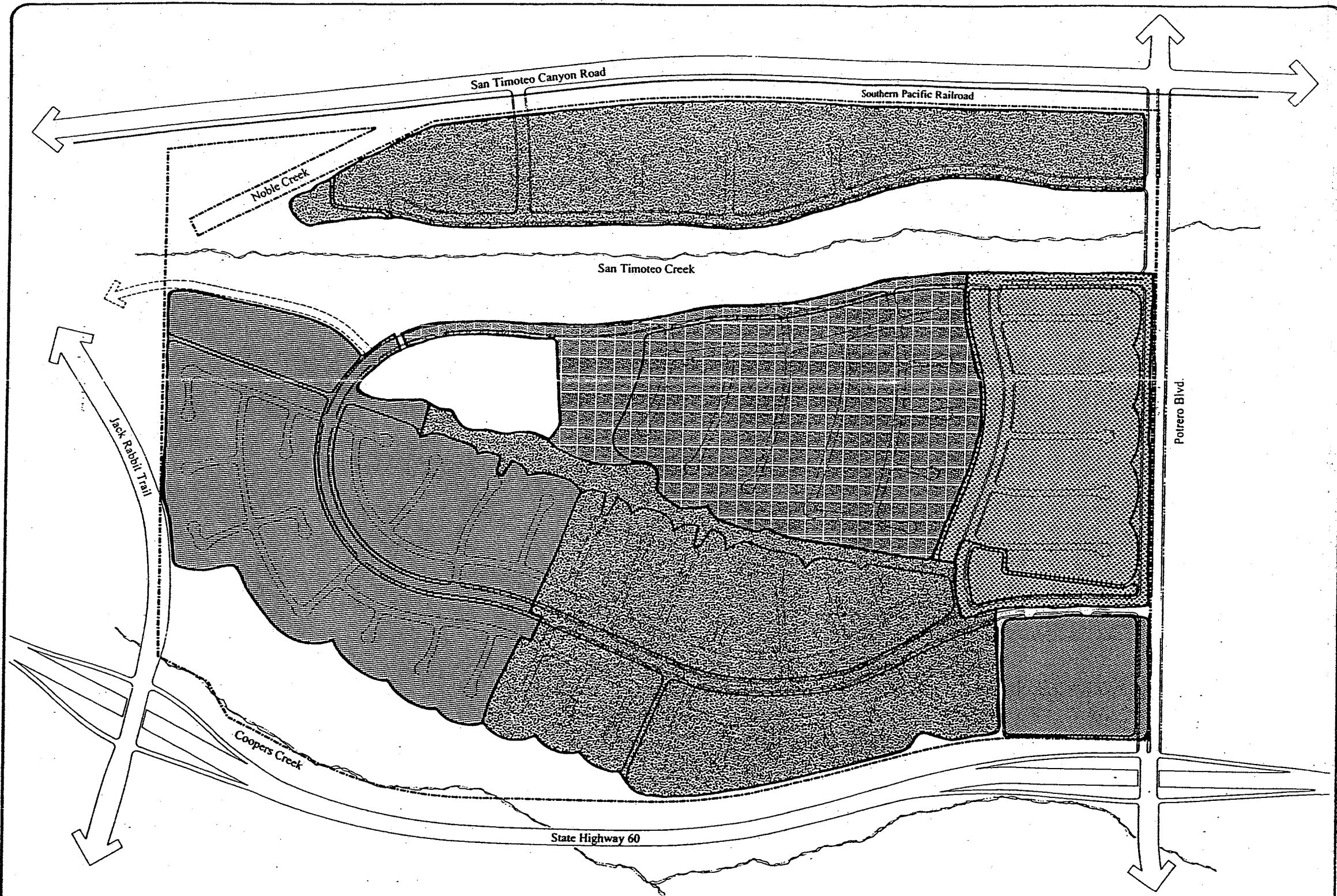
Specific plan phasing will guide the timing and sequencing of development in accordance with grading, infrastructure requirements and infrastructure availability. Table III identifies the targeted dwelling units for each of the three phases.

The thrust of the phasing program is to provide flexibility in order to deal effectively with dynamic market trends and conditions. The four master phases identified by Exhibit III-11, Phasing Plan, incorporates, in total or in part, several individual planning areas. Said phases correspond to areas which can individually stand alone in terms of providing adequate infrastructure and active open space amenities. In that development within each phase is infrastructure dependent, development within phases can occur concurrently or non-sequentially providing adequate consideration for infrastructure has been given.

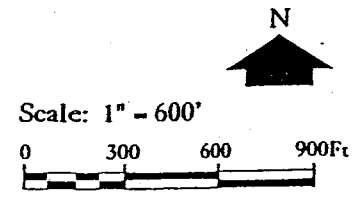
As illustrated by Exhibit III-11, Phase 3 incorporates residential and commercial land use and Phase 4 incorporates land uses in combination of residential and industrial. However, given that phasing can occur non-sequentially, the inclusion of commercial and industrial land use in Phase 3 and Phase 4 respectively, is considered conceptual, whereby allowing the commercial and industrial planning areas to develop independently of any particular phase in response to market conditions.

To ensure that each phase of development is provided with adequate active park and recreation amenities, the phases have been configured so as to incorporate a segment of the elongated paseo sports park into each phase. In addition, to ensure that the cost of developing the paseo sports park is distributed equitably among the various phases, it is anticipated that a funding mechanism will be established whereby the projected total cost of improving the paseo sports park will be absorbed on a pro-rata basis through a fee structure applied to each dwelling unit at the issuance of building permit or issuance of occupancy permit. This mechanism is elaborated on in more detail in the Recreation Plan discussion.

The Heartland elementary school site has been intentionally omitted from the phasing scheme in that its development timetable will be dictated by the Beaumont Unified School District in response to student generation factors and availability of funding.



Heartland Specific Plan Beaumont, California



Master Phasing Plan

Phase	D.U.'s
1	166
2	248
3	430
4	380
Total	1,224

H E A R T L A N D

Exhibit No.: III - 11

TABLE III - 1
HEARTLAND
Dwelling Units Per Phase

PHASE	DWELLING UNITS	ACRES	PLANNING AREAS
Phase I	166	33.2	1
Phase II	248	49.6	2
Phase III	430	73.51	3, 4, 12
Phase IV	380	108.90	3, 5, 11

2. PHASING PLAN STANDARDS

1. Grading, drainage facilities, water and sewer facilities and roads shall be provided at adequate levels to accommodate development in each phase in accordance with the City of Beaumont requirements as implemented through the Condition of Approval for Tentative Subdivision Maps, plot plans and conditional use permits.
2. Phases should develop in accordance with market conditions and infrastructure timing considerations.
3. Phases may develop concurrently or non-sequentially, providing adequate consideration for infrastructure, both on-site and regional, has been given.
4. Commercial and industrial planning areas can be phased independently of the respective residential phase as market conditions warrant.
5. Active open space amenities, bike lanes, entry statements and landscape buffer treatments shall be phased concurrently with individual planning areas which include those amenities and design features.
6. Each increment or phase of development shall contain appropriate levels of urban infrastructure and parks and recreation facilities to support the needs of the respective phase.

I. SPECIFIC PLAN: Grading Plan

The ensuing discussion will be presented in two subsections corresponding to Grading Plan Description and Grading Plan Standards.

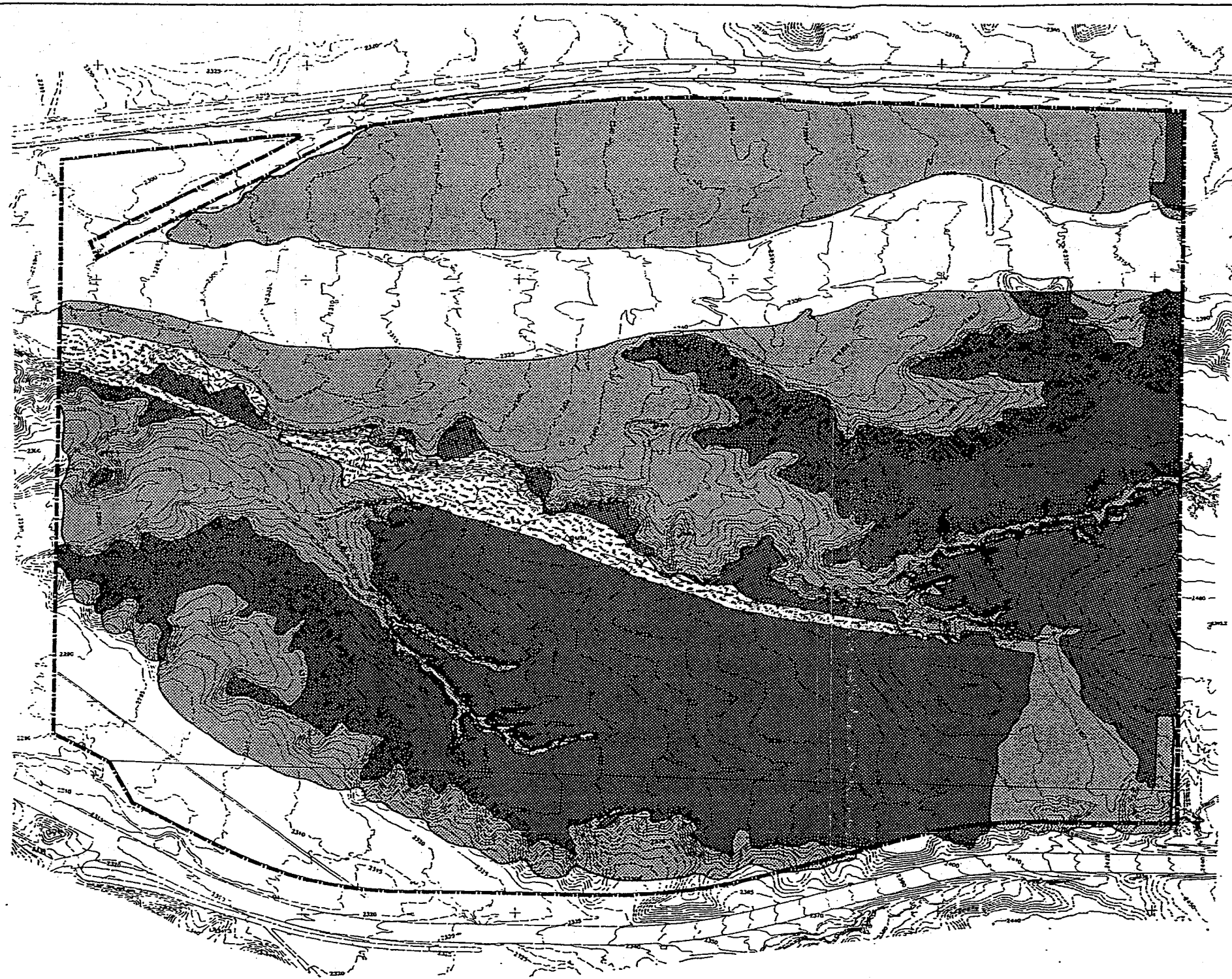
1. GRADING PLAN DESCRIPTION

Mass grading and remedial earthwork will be required for all residential, commercial, industrial, park and public facility planning areas. Limited grading will occur in the paseo sports park planning area in order to accommodate the various activities and improvements anticipated within this planning area and existing oil pipelines. In terms of earthwork quantities, it is anticipated that approximately 6,250,000 cubic yards of soil will be moved (cut and fill) to accommodate project development (see Exhibit III-12, Grading Concept). The earthwork quantities will be balanced in logical areas on site in order to reduce or eliminate the need to import or export soil to the greatest extent possible. Fill material will be applied to the industrial park planning area in order to elevate the proposed industrial lots/pads above the San Timoteo Creek 100 year flood plain.

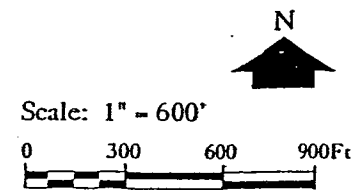
2. GRADING PLAN STANDARDS

The following Grading Standards shall apply to all graded areas within the Heartland Specific Plan.




1. All grading activity shall conform to the recommendations of the preliminary soils report and subsequent reports prepared in conjunction with the grading plans.
2. All grading activity shall conform to the City of Beaumont's grading standards to the satisfaction of the Director of Public Works.
3. Grading shall conform to the following hillside development standards:
 - All cut and/or fill slopes or individual combinations thereof which exceed ten (10) feet in vertical height shall be modified by an appropriate combination of a special terracing (benching) plan, increased slope ratio (e.g., 3:1), retaining walls and/or slope planting combined with irrigation.
 - A slope stability report shall be submitted with all subdivisions creating slopes in excess of ten (10) feet in vertical height.
 - All driveways shall not exceed an average grade of 15% unless otherwise approved by the Building and Safety Department.



Heartland Specific Plan Beaumont, California



Grading Concept

-  Cut
-  Fill
-  Natural

Raw Quantities

Cut	
Residential, Commercial, School & Park	3,100,000 Cu. Yds.
Fill	
Residential, Commercial, School & Park	2,600,000 Cu. Yds.
Industrial	550,000 Cu. Yds.

H E A R T L A N D

Exhibit No.: III - 12

4. Prior to the issuance of grading permits, an overall conceptual grading plan or tentative subdivision map illustrating proposed grading shall be submitted to the Planning Director for approval. The plan or map shall be used as a guideline for subsequent detailed grading plans of individual phases of development and shall include the following:
 - Techniques which will be utilized to prevent erosion and sedimentation during and after the grading process.
 - Identification techniques which will be utilized in areas which may be graded during the rainy months.
 - Preliminary pad and roadway elevations.
5. All manufactured slopes exceeding ten (10) feet in vertical height shall be graded incorporating the following techniques:
 - The angle of the graded slope interfacing a natural slope shall be gradually adjusted to the angle of the natural terrain.
 - Angular forms along exterior view areas shall be discouraged. The graded form of exterior view slopes shall create the appearance of rounded terrain whenever feasible.
 - Where the toe of the slope exceeds 100 feet in straight horizontal length, the toe of the slope shall be curved in an undulating fashion.
6. Graded, but undeveloped, land shall be maintained in a weed-free condition and shall be planted with interim landscaping or provided with other erosion control measures as approved by the Director of Building and Safety.
7. All graded slopes shall be planted in a timely manner, meeting the approval of the Planning Director, with plant materials that will stabilize the slopes and minimize erosion.
8. All development areas and lots shall be designed so that surface drainage is directed to street frontages or approved natural or improved drainage courses.
9. Grading plans for all projects shall comply with the City of Beaumont Grading Code, and with this plan.
10. Grading will be permitted outside of the area of immediate development when it is consistent with an approved grading plan. Borrow sites may be permitted within the areas scheduled for future development, subject to an approved grading plan. Any excess cut from a particular phase will be placed as engineered fill in a future development area or adjacent

consenting property owner as shown on an approved grading plan referencing any disposal site. Grading permits shall be authorized for issuance following the approval process of a subdivision map, or conditional use permit.

11. The developer must provide a report prepared by a licensed engineering geologist and soils engineer as the basis for the grading plan. The report is to document methods for providing a safe and stable development.
12. No site preparation shall be permitted prior to the approval of a grading plan and issuance of grading permit.
13. Haul roads which need to cross major drainage areas shall do so at an angle of ninety degrees, and at future improved crossings wherever possible. Haul road routes outside of the area of immediate development shall be incorporated into an approved grading plan.
14. Dust control plans will be incorporated with the erosion control plans which will be submitted concurrently with the grading plans. All applicable regulations relative to fugitive dust control will be adhered to.
15. Site construction may be phased which will require the interim use of temporary toes, ditches, sandbags, ground cover, silt fences, and gravel access roadways at construction areas. Interim graded areas shall be designed to drain within the graded boundary, trapping construction sediments in depressed areas of desilting basins.
16. All requirements of the RCFCD & WCD regarding erosion control for grading operations shall be implemented to reduce wind blown or water transported sediments.
17. Energy dissipation devices will be provided downstream of storm drain outlets to protect watercourses from increases in flow velocity.
18. Soil on graded slopes will be strengthened by planting to reduce the potential of erosion. During the interim period before the ground cover develops, straw, wood chips, or jute will be used as stabilizing agents.
19. Overland flow will be prevented from running uncontrolled over slopes. This will include the use of gravel bag dams perpendicular to the flow, or the diversion of water to temporary protected channels.
20. Structural protection adjacent to road embankments or creek banks, whether it be retaining walls or rip-rap protection, will be toed-down to below the existing ground elevation to protect against future scour.

21. Prior to any grading activities, a soil report and additional geotechnical studies will be performed to further analyze on-site soil conditions, slope stability, seismic design, shrinkage factor, bulking, overexcavation, foundation design, lateral pressures, etc.

22. In conjunction with any grading activity that discharges fill within waters of the United States or may cause sedimentation to accrue, a NPDES permit pursuant to the 1987 Clean Water Act shall be processed prior to the issuance of the grading permit.

J. SPECIFIC PLAN: Recreation Plan

The ensuing discussion will be presented in the subsections corresponding to Recreation Plan Description and Recreation Plan Standards.

1. RECREATION PLAN DESCRIPTION

Recreation amenities are an important component to the Heartland Specific Plan. The Recreation Plan is designed to provide a functional system of recreational activities for the Heartland community that protects conservation areas and compliments area-wide recreational opportunities that are afforded by the County of Riverside and the City of Beaumont.

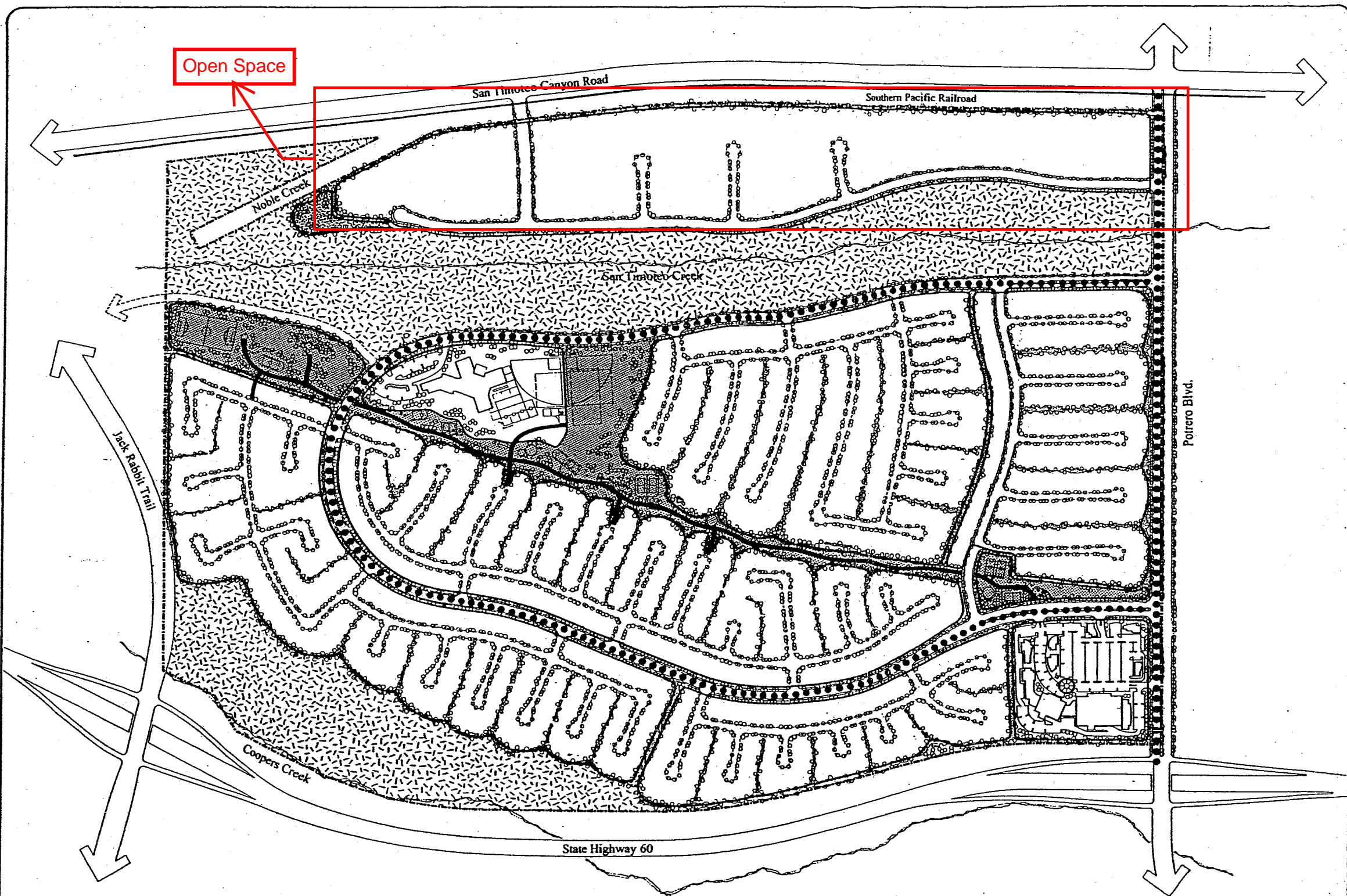
The 23.9 acre paseo sports park represents the centerpiece of the Heartland active recreation plan (Planning Area No. 7). The paseo park extends the entire length of the Specific Plan in an east-west orientation following generally the Arco gas line easement. The paseo park reflects a unique recreational amenity in that it provides a continuous multi-purpose trail system linked to a series of active recreational nodes, each providing a varied amenity package. The most significant activity area within the paseo is the sports park component located adjacent to the proposed Heartland elementary school site (Planning Area No. 6). Exhibit III-13 illustrates the various active and passive recreational components. It should be noted that the activity nodes illustrated on Exhibit III-7 (Planning Area No. 7) are at this time conceptual, and that deviations from the conceptual plan can occur with the concurrence of the City of Beaumont. The ultimate improvement package for each of these nodes will be submitted in more detail as a condition of tentative tract map approval process. The 23.9 acre paseo sports park facilities will yield a ratio in excess of 5 acres of active recreational park facilities per 1,000 residents, meeting the City of Beaumont's active recreation commitment standards.

Another recreation amenity that can be characterized as semi-active is the 1.4 acre respite park (Planning Area No. 8). The respite park is physically linked to the industrial/business park component of the Specific Plan and as the name implies, will provide employees within the industrial/business park complex with an outdoor close-at-hand opportunity to relax during lunch time activity and/or breaks.

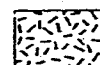




2. RECREATION PLAN STANDARDS

1. Active park lands of not less than 23.9 acres shall be dedicated to the City of Beaumont in conformance with the Park and Recreation Plan.

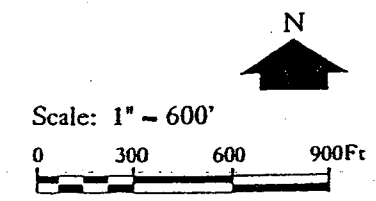
2. Park land dedication and improvement shall occur in accordance with the Project Phasing Plan.
3. Detailed park improvement plans shall be submitted and processed concurrently with the first phase of a final map for each of the master phases of the Heartland development. Said improvement plans shall be reviewed and approved by the City of Beaumont's Planning Director prior to the recordation of said tract map.
4. Park improvement plans shall contain the following information and shall be approved through an administrative process.
 - Site Plan
 - Grading Plan
 - Landscape and Irrigation Plan
 - Architectural Plans and Details (if applicable)
5. Construction of park improvements shall be the sole responsibility of the builder implementing a particular phase of the Heartland development as follows.
 - Park improvements shall be constructed in substantial conformance with the Park and Recreation Improvement Plan.
 - Specific improvements to be incorporated into each of the activity nodes can deviate from the conceptual plan providing the overall spirit of the Recreation Plan is achieved.
 - Final Park and Recreation Plans shall be reviewed and approved by the Planning Director or his/her assignees through an administrative approval process.
6. Maintenance of all common active recreation areas and public street rights-of-way will be the responsibility of a community service district (CSD), master homeowners association, assessment district or as approved by the City of Beaumont.
7. The various phases of the paseo sports park shall be offered for dedication and improved prior to the fifty percent occupancy of the dwelling units in the final tract map of the master phase which incorporates a given segment of the paseo sports park.
8. A Community Facilities District (CFD) has already been formed which could be expanded to provide a funding mechanism by which to improve the paseo sports park. Alternatively, a similar mechanism shall be approved by the City of Beaumont prior to the recordation of the first implementing subdivision within the Heartland Specific Plan. This approach will provide a means by which to distribute the cost of improving the paseo sports park on an equitable/pro-rata basis for each of Heartland's master phases.



Open Space and Recreation Plan

-  Open Space
-  Passive "Respite" Park
-  Paseo Sports Park
-  Primary Paseo Path
-  Class II Bike Lanes

Heartland Specific Plan Beaumont, California



H E A R T L A N D

Exhibit No.: III - 13

K. SPECIFIC PLAN: Conservation Plan

The ensuing discussion will be presented in two subsections corresponding to Conservation Plan Description and Conservation Plan Standards.

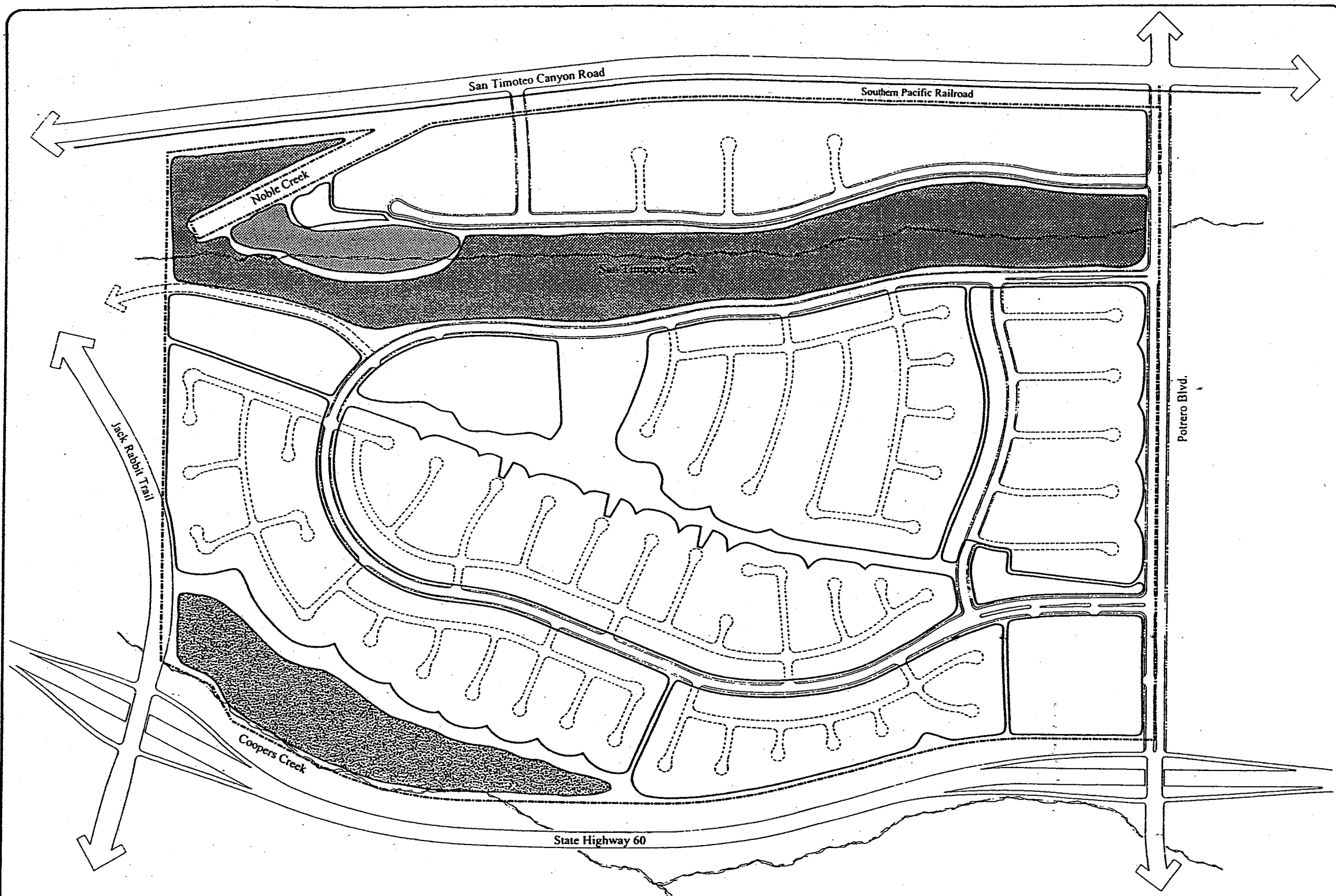
1. CONSERVATION PLAN DESCRIPTION

The Environmental Impact Report (EIR) prepared in conjunction with the Heartland Specific Plan provides an in-depth discussion relative to the impacts on vegetation and wildlife resulting in the removal and/or alteration of the subject site's sensitive habitat areas. The Heartland Specific Plan concept has been responsive to the presence of these resource areas and as such a conservation plan has been incorporated into the Specific Plan text and EIR process. For more detailed information, please refer to the EIR text as it relates to impacts and mitigation measures associated with the Heartland Specific Plan development.

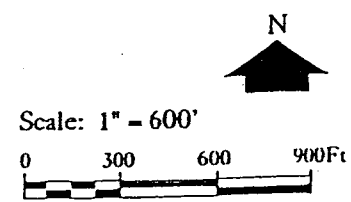
The Heartland Specific Plan property provides a connecting link to habitat areas located to the west of the subject site involved in the Riverside County Multiple Species Habitat Conservation Plan (MSHCP). The primary objective of the MSHCP is to protect and promote biodiversity as essential in preserving the ecology of the region in a comprehensive manner as opposed to the piecemeal approaches of the past. The Heartland Conservation Plan is consistent with the intent of the MSHCP by providing a functional system of wildlife and sensitive resources preservation. Every effort will be made to mitigate the effects of development and create a community in which the significant characteristics of the Heartland property will be maintained. Towards this end, Heartland's drainage plans, as previously discussed, will emphasize the preservation of existing significant natural drainage corridors to allow storm water runoff to be conveyed through the site in accordance with natural topographic and drainage patterns. There are three major components to the Heartland Conservation Plan which are described in detail below, and illustrated by Exhibit III-14.

San Timoteo Creek Conservation Corridor

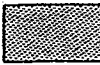


Encroachment into the San Timoteo Creek 100 year flood plain will be prohibited to the greatest extent possible. As such, the Specific Plan will retain San Timoteo Creek in a natural condition. The retention of San Timoteo Creek in an unchannelized condition will maintain the creek's capacity and function as an animal movement corridor and preserve the alluvial fan sage scrub which provides important habitat for a number of sensitive wildlife species. In addition, preservation of San Timoteo Creek in a natural open space condition will continue to provide raptor foraging habitat opportunities particularly for raptor species having a tolerance for human presence and/or those species requiring a relatively limited home range area.



Heartland Specific Plan Beaumont, California



Conservation Plan

-  6.3 Acre Riparian Enhancement Area
-  San Timoteo Creek Conservation Corridor - Alluvial Fan Sage Scrub Restoration Area
-  Cooper's Creek Conservation Corridor - Oak / Willow Woodland Preservation Area

Source: Envision

H E A R T L A N D

Exhibit No.: III - 14

6.3 Acre Riparian Enhancement Area

As previously indicated, encroachment into San Timoteo Creek will be prohibited to the greatest extent possible. However, in those instances where development and associated grading will impact areas of alluvial fan sage scrub habitat, a 6.3 acre enhancement area has been established in conjunction with the Conservation Plan. The enhancement area will provide an opportunity to replace lost/impacted alluvial fan sage scrub habitat at an appropriate replacement ratio. The appropriate replacement ratio will be determined at the development stage through the 404 permit and/or 1601-1603 permit process as it relates to loss of wetlands habitat and impacts to waters of the United States, respectively.

Cooper's Creek Conservation Corridor

Another important component of the Heartland Conservation Plan is the retention of 5 acres of high quality oak/willow woodlands associated with Cooper's Creek drainage, which traverses the southwesterly edge of the subject site. The Cooper's Creek conservation area will include an additional 22.6 acres in an undisturbed condition in order to provide an additional buffer/setback area between the Cooper's Creek riparian corridor and the residential units proposed within the adjoining planning area. The oak/willow woodland habitat is of high enough quality to support the federally listed Least Bell's Vireo (*Vireo belli pusillus*). Least Bell's Vireo was not observed during the March 16, 1993 biological resource survey. It should be noted, however, that the timing of the survey (January) was not the optimal time of the year for observing Least Bell's Vireo and as such a conclusive determination as to the specie's presence or absence has not been rendered to date. Additionally, the riparian corridor is located adjacent to State Route 60 and as such the habitat area, in spite of its relatively high quality, may be precluded from supporting Least Bell's Vireo due to disturbances emanating from the highway. However, should Least Bell's Vireo occupy the oak/willow woodland habitat in spite of the highway influences, the Cooper's Creek Conservation Corridor will ensure the preservation of the oak/willow woodland riparian plant community and its potential for supporting Least Bell's Vireo will be protected by maintaining the area as a viable riparian and animal movement corridor.

2. CONSERVATION PLAN STANDARDS

The Conservation Plan as described above will be subject to the following standards.

1. Development areas shall be set back from areas designated as riparian, woodland and/or wetlands through the incorporation of such design

features as open space buffers and roadways creating an effective buffer/transition zone.

2. It is anticipated that the areas slated for conservation be dedicated to a conservation entity or homeowner's association as custodian for permanent open space and conservation use. Towards this end, said entity will be determined by joint consultation with the affected agencies, including the City of Beaumont, U.S. Fish and Wildlife Service, the California Department of Fish and Game, and the Riverside County Habitat Conservation Agency.
3. Optional berming and re-vegetation may be employed to increase animal cover within the animal movement corridor areas.
4. Site planning of development areas adjacent to riparian woodland/wetlands conservation areas shall take place in a manner that discourages vehicle access and parking light impacts.
5. Lighting standards shall be incorporated into the neighborhood CC&R programs of those planning areas adjacent to conservation areas which will ensure mitigation of potential impacts associated with urban influences.
6. Roads shall incorporate highly visible signs on either side of the corridor, notifying motorists of the potential for wildlife (e.g., "Warning -- Wildlife Crossing").
7. Corridors should be screened from the direct view of adjacent homes, roads, etc., by trees and shrubs. Vegetative screening is recommended for the edge of developed areas adjacent to corridors utilizing native plant species to the greatest extent possible.
8. Nighttime activity shall be prohibited in the corridor conservation areas. Day use is acceptable on established trails along the edge of the corridor adjacent to development. Bicycles and motorized vehicles shall not be allowed within the corridor except for maintenance activity.
9. If lighting is necessary in the areas within the corridor, any directional lighting pointed away from the corridor shall be permitted.
10. Conservation corridors should be crossed at a minimum number of locations necessary to ensure primary emergency and security vehicle access.
11. In conjunction with development activities that encroach upon the alluvial fan sage scrub habitats, the California Department of Fish and Game will be notified and consulted pursuant to the California Fish and Game Code Sections 1601-1603, The U.S. Army Corps of Engineers in

conjunction with their 404 permit process, with input from the U.S. Fish and Wildlife Service.

12. Dogs should be kept on leashes and leash laws strictly enforced.
13. Public access to all undisturbed open space areas shall not be facilitated.
14. Signage and/or fencing shall be employed to preserve the integrity of those areas determined to be of a sensitive biological resource.

L. SPECIFIC PLAN: Landscape Plan

The ensuing discussion will be presented in two subsections corresponding to Landscape Plan Description and Landscape Plan Standards.

1. LANDSCAPE PLAN DESCRIPTION

Landscape treatments will play a pivotal role in establishing a distinctive character for the Heartland Specific Plan, providing unification and continuity among the various land uses and residential enclaves. In addition, the landscape components such as streetscapes and slope plantings in combination with monumentation create a sense of richness, arrival and prominence.

The intent of the Landscape Plan is to describe and illustrate how this community unification and identity can be achieved. Towards this end the plan has been divided into six major categories as listed below. Within these categories represent the entire vocabulary of landscape elements within the Heartland Specific Plan. Used in conjunction with the design guidelines for planning and architecture, a high quality community with long term viability is assured.

The categories are further divided into subcategories within which descriptions, plans, and elevation illustrations convey design "intent." The Landscape Concept Plan (Exhibit III-15) provides a key map that identifies the locations of the various subcategories. The Landscape Concept Plan includes call-outs for all exhibits within the text (i.e., primary and secondary community entries, buffer treatments, slope treatments, etc.).

- Entry Themes/Monumentation/Signage
- Streetscape Themes
- Paseo Open Space and Sports Park
- Community Walls/Fences
- Neighborhood Commercial Landscape
- Typical Front Yard Landscaping

a) ENTRY THEMES/MONUMENTATION/SIGNAGE

Entry themes, monumentation and signage will play an important role in creating an impressive and inviting atmosphere for the Heartland community. The initial impression of a community is often formulated by the quality and character established at the project entries. Within the Heartland Specific Plan, a varied and hierarchical arrangement of entries have been developed. These range from the "major community entries" located at the intersections of Potrero Boulevard and the Heartland Collector Loop Road to "neighborhood entries" located at numerous points within the

community along interior streets. The Landscape Concept Plan, Exhibit III-15, identifies the location of the various monumentation treatments throughout the community as described and illustrated on the following pages.

(1) *Major Community Entry*

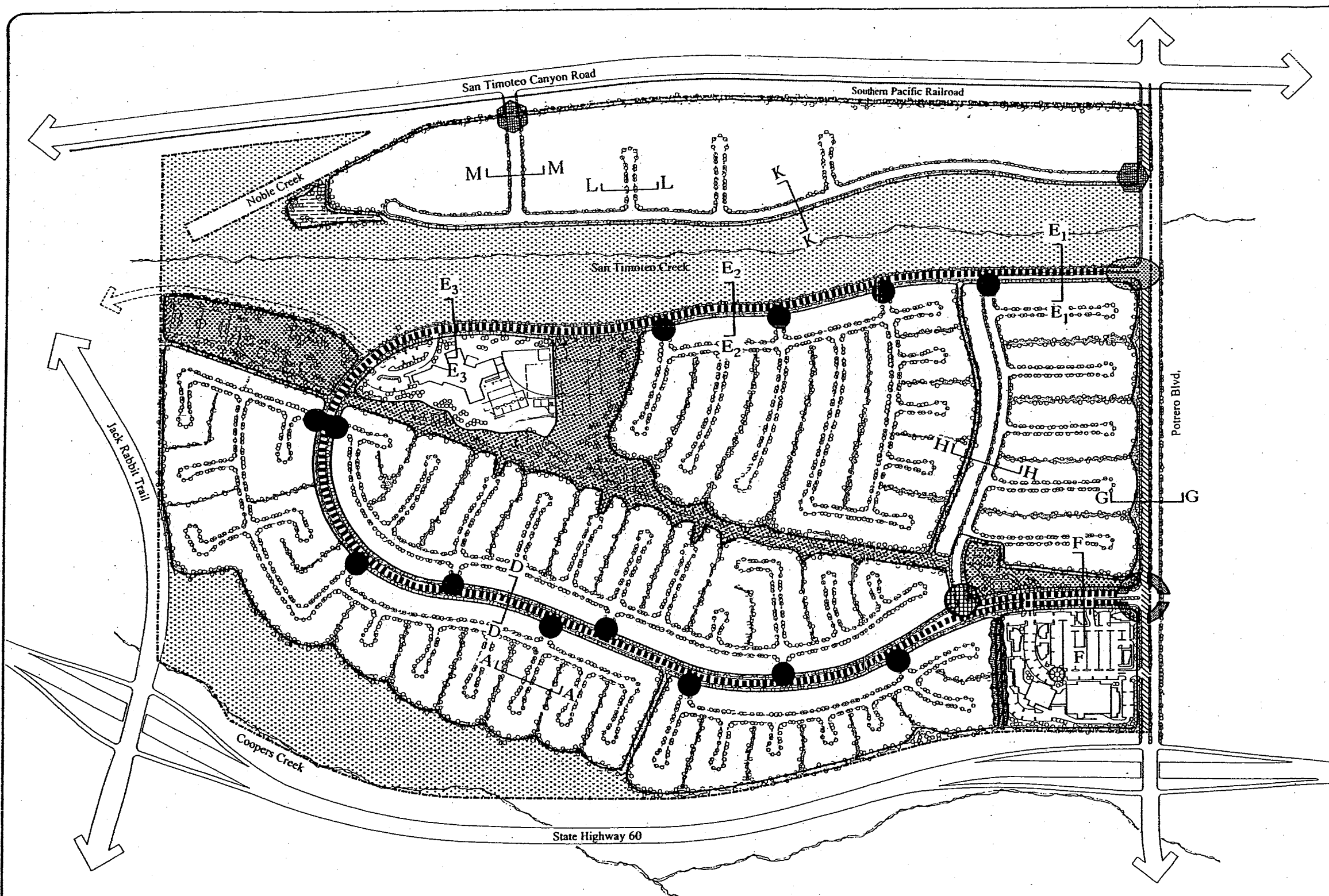
As illustrated by Exhibit III-15, Landscape Concept Plan, Heartland's major community entry will be located at the intersection of Potrero Boulevard and its southern intersection with Heartland's Collector Loop Road. This community entry represents the primary gateway into the Heartland community. The major community entry, Exhibit III-16, will convey an appealing mixture of relaxed countrified charm and contemporary sophistication. This condition will be achieved through the use of such materials as boulder outcroppings and bermed turf treatments in combination with a dense backdrop of large canopy trees accented by shrub massing and ground cover understory. The canopy tree and shrub massing treatment will be perpetuated within the expanded parkways provided in Potrero Boulevard and Heartland's Collector Loop Road through the application of randomly spaced street trees intermixed with drifts of evergreen grove trees and deciduous accent trees. The community entry theme will be further enhanced by incorporating a meandering sidewalk in combination with a three rail wood fence. The use of boulders, cobble and tree and shrub massing as a significant component to the overall community entry theme will be carried over and applied to the raised landscaped medians designed for Potrero Boulevard and Heartland's Collector Loop Road.

(2) *Secondary Community Entry*

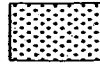







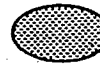



As illustrated by Exhibit III-15, Landscape Concept Plan, Heartland's secondary community entry will be located at the intersection of Potrero Boulevard and Heartland's Collector Loop Road (north), as depicted by Exhibit III-17. While this entry plays a subordinate role to the major community entry in terms of location and exposure from daily traffic volumes, the intersection nonetheless represents a significant market entry. As such, the secondary entry and identity node area shall convey the same character as the major community entry except at a slightly reduced scale and intensity. This approach will provide a consistent landscape theme that extends the entire Potrero Boulevard frontage and continues on through the major and secondary community entry/identity nodes.

(3) *Identity Node*

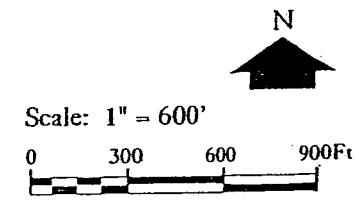
Located at the intersection of Heartland's Loop Road (south) and local collector road (entrance to Planning Area No. 1), this area provides an



Landscape Concept Plan

-  Open Space
-  Respite Park
-  Paseo Sports Park
-  Major Community Entry
-  Identity Node
-  Neighborhood Entry
-  Land Use Buffer
-  Industrial Park Entry
-  Secondary Community Entry
-  Collector Loop Road
-  Urban Arterial Road
-  Typical Landscape Sections

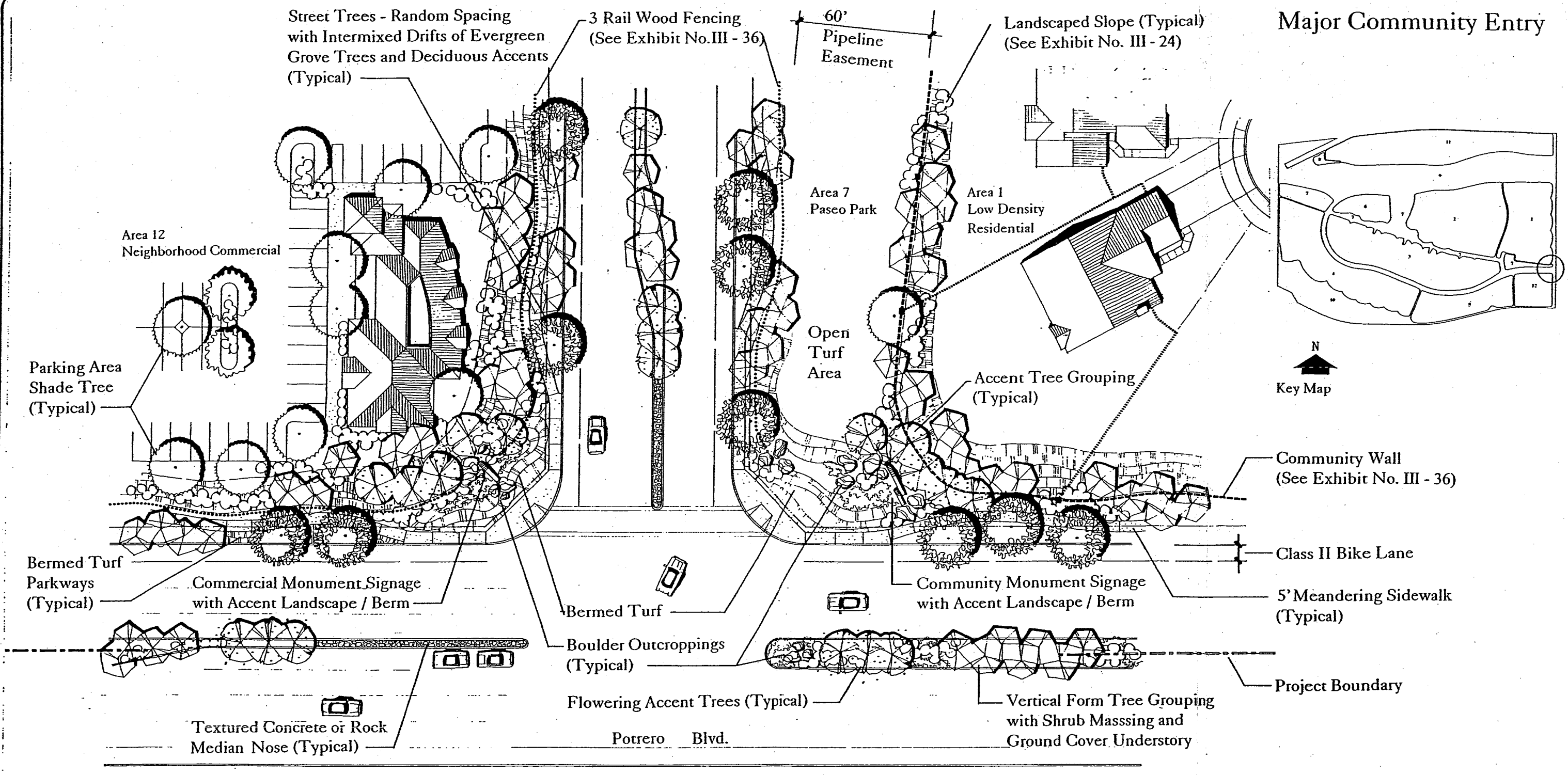
Heartland Specific Plan Beaumont, California



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Exhibit No.: III - 15

Major Community Entry



Heartland Specific Plan
Beaumont, California

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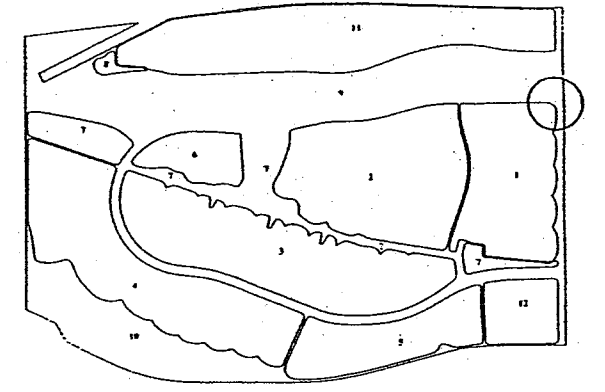
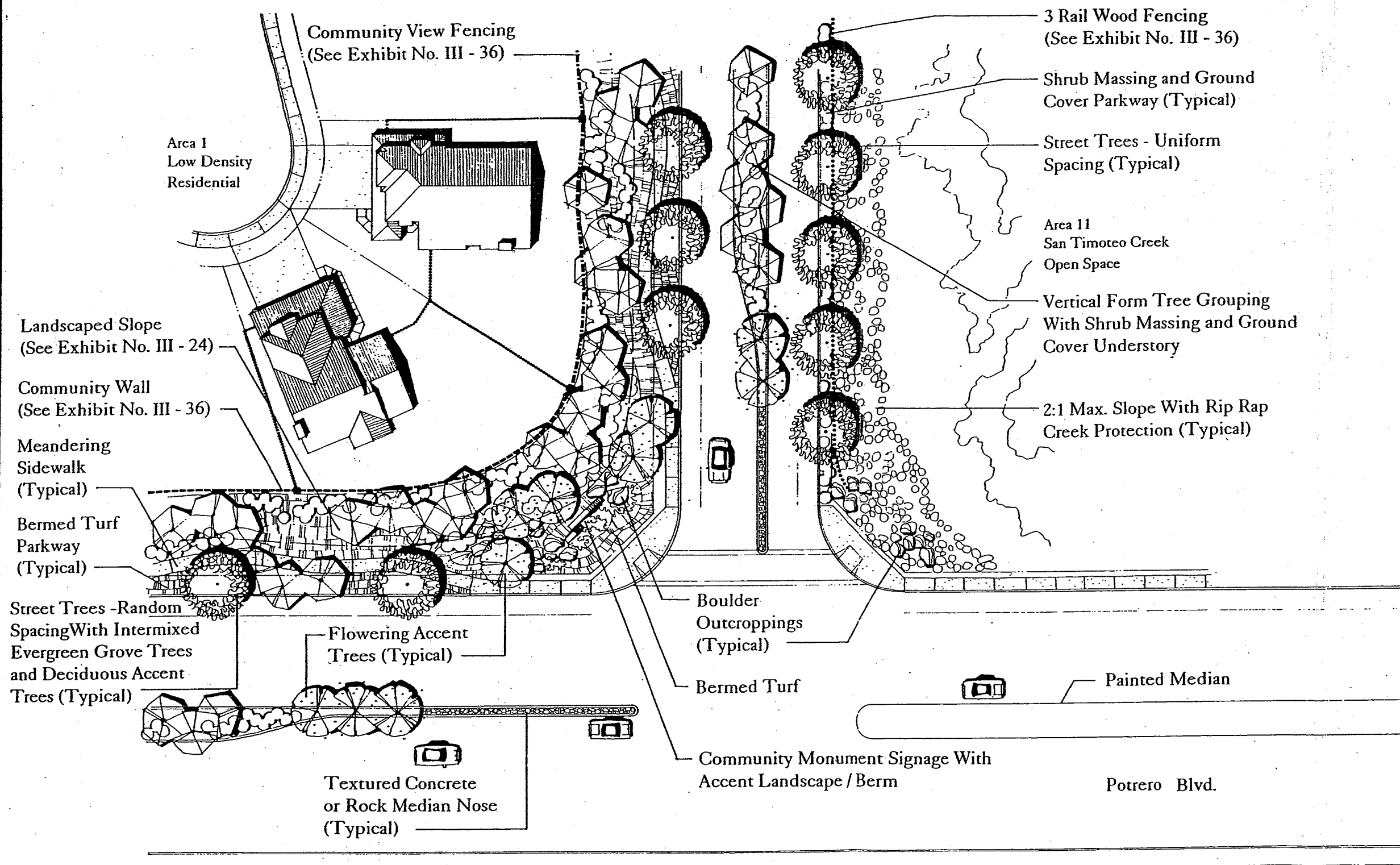
Not to Scale  N

Exhibit No.: III - 16

Secondary
Community Entry



Heartland Specific Plan
Beaumont, California

H E A R T L A N D

Not to Scale



Exhibit No.: III - 17

opportunity to create an internal project-wide monument sign in combination with a community directory. See Exhibit III-18, Identity Node. The design theme is intended to be consistent with the major and secondary community entries, only at a reduced scale. As such, the identity node will consist of scattered boulder outcroppings which may include a water feature in combination with a dense backdrop with large canopy trees accented by shrubs and groundcover understory. This treatment will be carried through the expanded parkway provided in the local collector street serving planning area number 1 and Heartland's Collector Loop Road. Consistent with the major community entry, the identity node area will also incorporate a meandering sidewalk accompanied by a three rail wood fence.

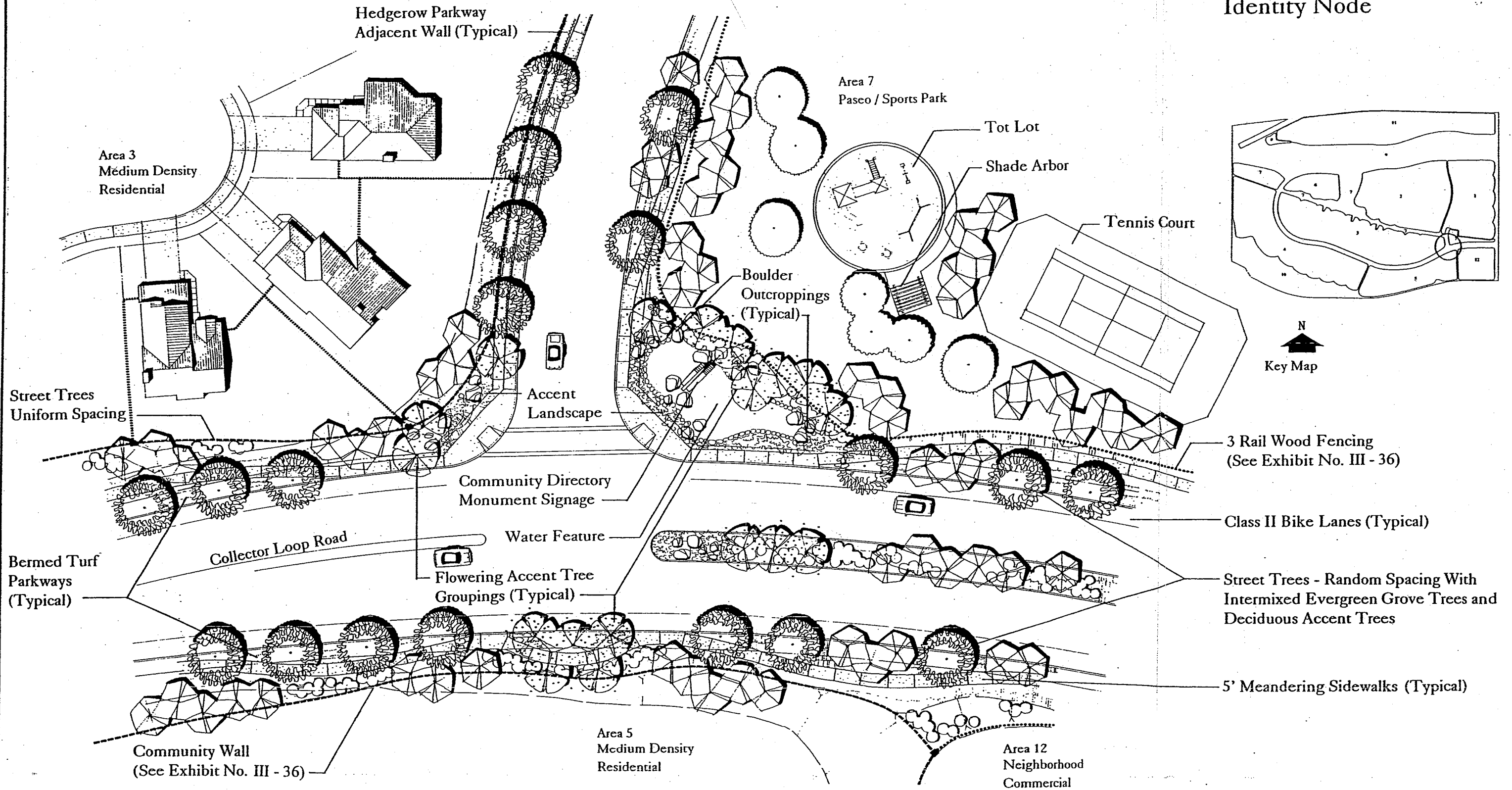
(4) *Neighborhood Entries*

Neighborhood entries will occur at twelve (12) locations along residential streets that intersect with Heartland's Collector Loop Road. See Exhibit III-19, Typical Neighborhood Entry. Neighborhood entries will reflect design elements consistent with the major and secondary community entries and identity node areas. However, the size of these neighborhood entries and associated monumentations will be scaled back as they emphasize individual neighborhood characteristics. As such, the neighborhood entries will utilize boulder outcroppings in conjunction with the monument signage. As a backdrop to the monumentation and boulder outcropping features, the neighborhood entries will incorporate a canopy and flowering accent tree treatment that will extend along the adjoining local street rights-of-way and along Heartland's Collector Loop Road.

(5) *Industrial Park Entry*

As illustrated by Exhibit III-15, Landscape Concept Plan, Heartland's industrial park entry treatments will occur at the industrial entrance from San Timoteo Canyon Road and the entrance from Potrero Boulevard. The industrial park entry and monumentation treatment as depicted by Exhibit III-20 (Industrial Park Entry) will provide an overall sense of continuity and theme throughout the industrial park area. In addition, the industrial park entry/monumentation theme will incorporate features that will provide a sense of continuity with Heartland's major and secondary community entries that also occur along Potrero Boulevard. To achieve design continuity, the industrial park entries will also utilize boulder outcroppings and bermed turf treatments in combination with a dense backdrop of large canopy trees accented by shrub massing and groundcover understory. The canopy trees and shrub massing features will be perpetuated within the industrial collector street parkway and within the expanded parkway area provided in Potrero Boulevard.

Identity Node



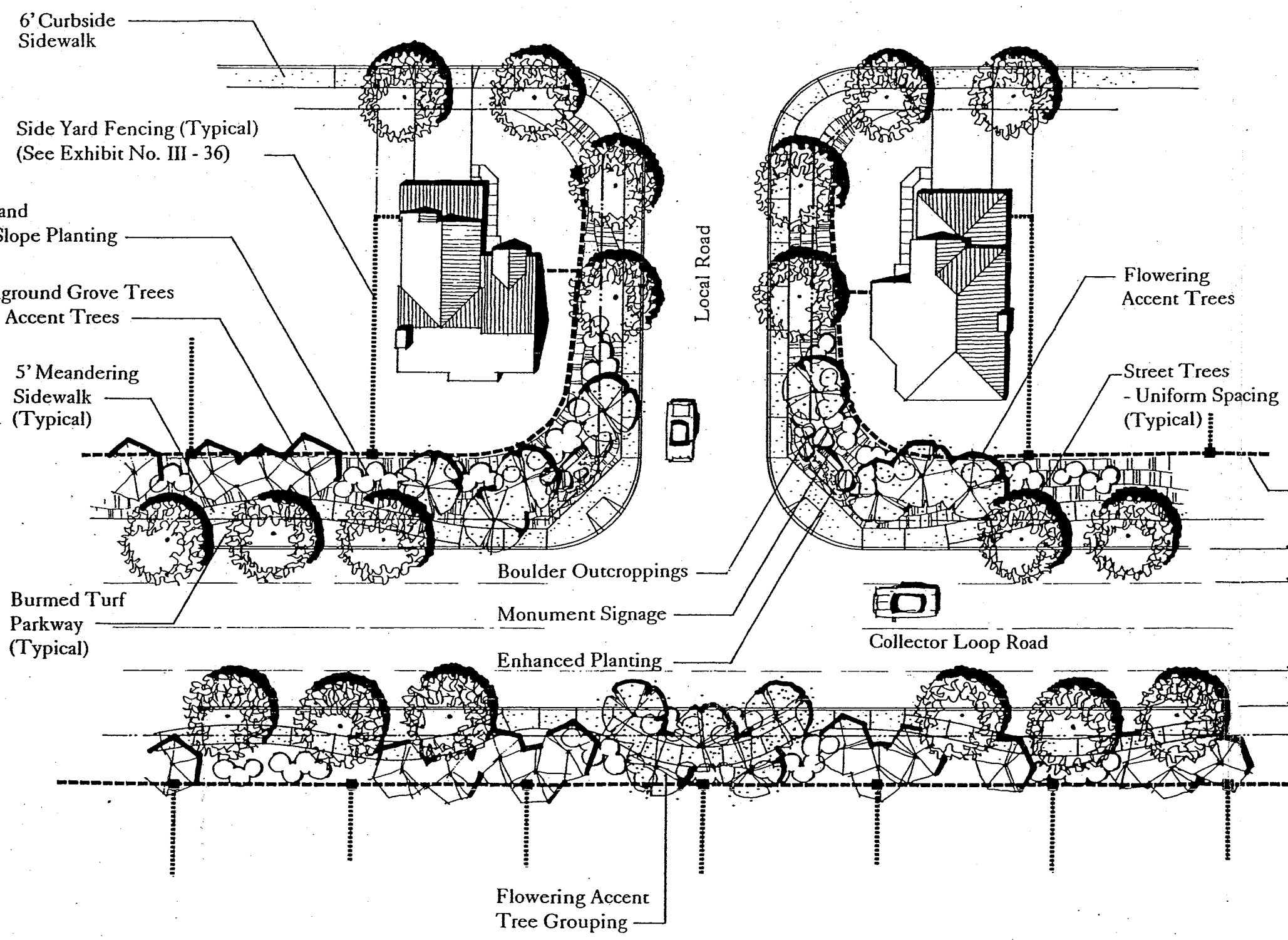
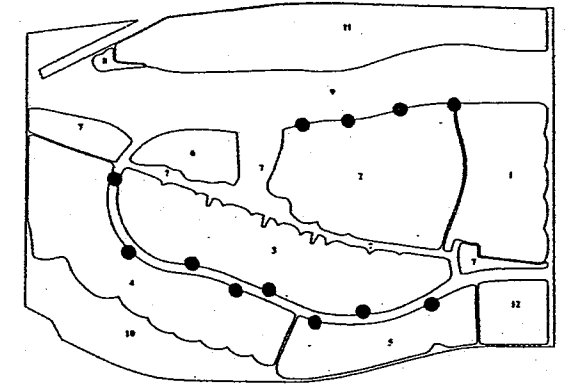
Heartland Specific Plan Beaumont, California

H E A R T L A N D

Exhibit No.: III - 18



Typical Neighborhood Entry



Shrub Massing and Ground Cover Slope Planting (Typical)

Evergreen Background Grove Trees with Deciduous Accent Trees (Typical)

5' Meandering Sidewalk (Typical)

Burmed Turf Parkway (Typical)

Boulder Outcroppings

Monument Signage

Enhanced Planting

Flowering Accent Tree Grouping

Local Road

Collector Loop Road

Flowering Accent Trees

Street Trees - Uniform Spacing (Typical)

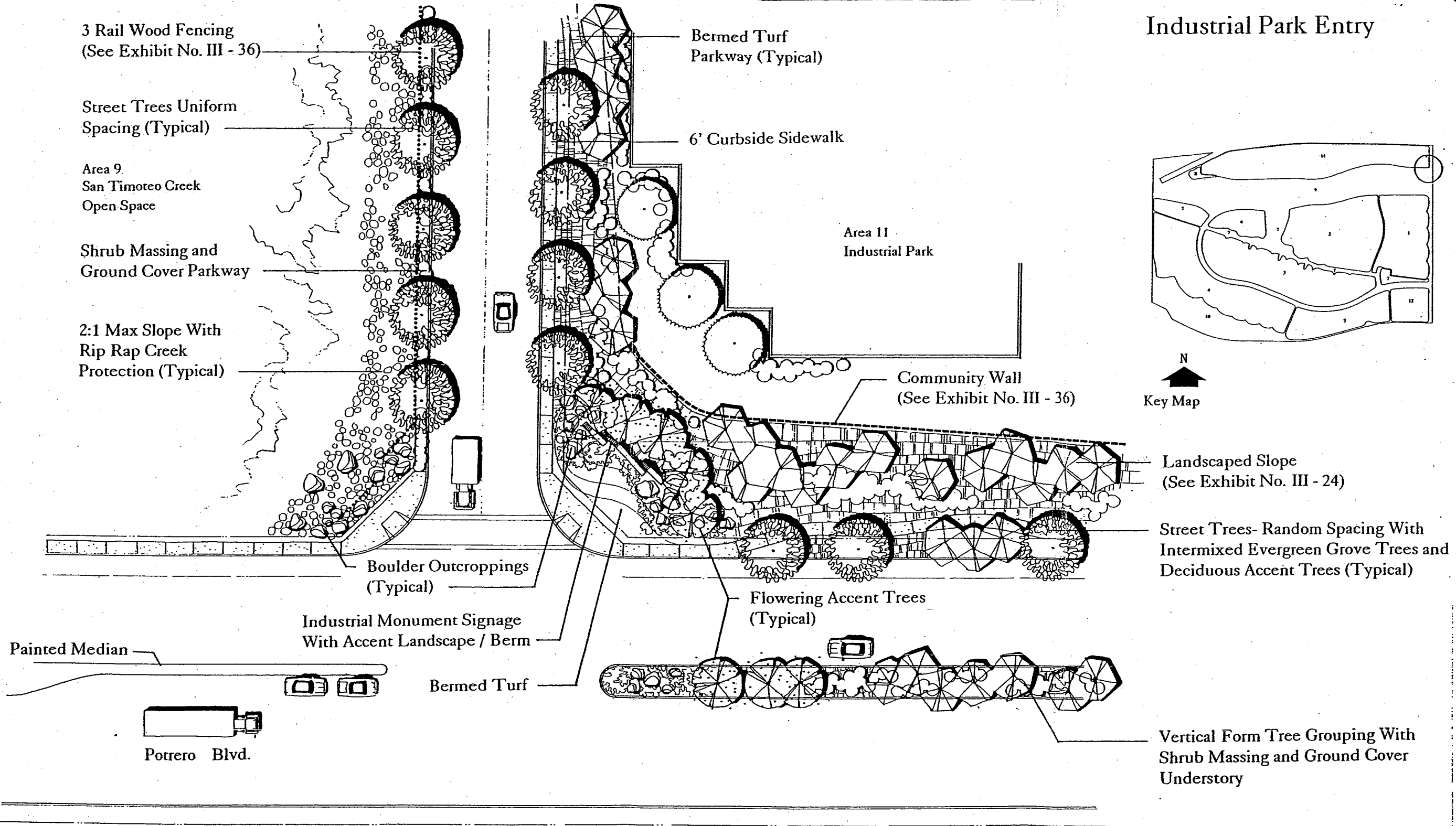
Community Wall (See Exhibit No. III - 36)

Class II Bike Lanes (Typical)

Heartland Specific Plan Beaumont, California

H E A R T L A N D

Exhibit No.: III - 19



Heartland Specific Plan Beaumont, California

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Not to Scale



N

Exhibit No.: III - 20

(6) *Paseo Park Activity/Entry Node*

The paseo sports park trail system will provide non-vehicular (pedestrian) area-to-area links within the Heartland community. Exhibit III-21, Paseo Park Activity/Entry Node, illustrates the manner in which the paseo can be accessed from a public street by way of a paseo park neighborhood entry. A 5 foot secondary paseo path will lead pedestrians from the public street (typically a cul-de-sac) onto an 8 foot primary paseo path which is linked to the various activity nodes. The 5 foot secondary paseo path will meander between paseo accent trees planted in combination with shrub massing and ground cover. This landscape concept will be carried through the paseo park/residential interface creating an effective land use buffer treatment.

b) *STREETSCAPE THEMES*

The selection of trees, shrubs, groundcovers and vines will establish the overall landscape character for the Heartland community and play a pivotal role in unifying the various land uses in a cohesive community design.

In several instances throughout the Specific Plan, particularly within the residential enclaves, additional landscape areas have been incorporated in the form of expanded parkways. This design feature serves to enhance the visual quality of the streetscape and softens the transition between the various collector roadways and the adjacent residential planning areas.

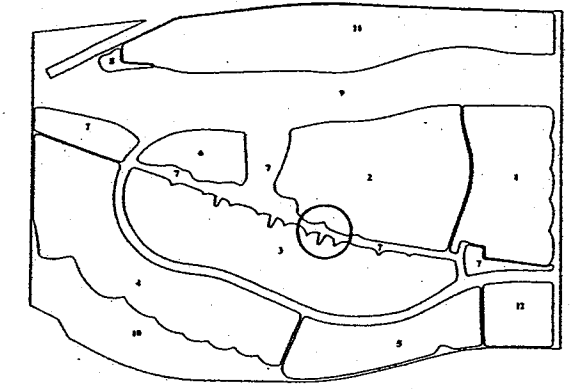
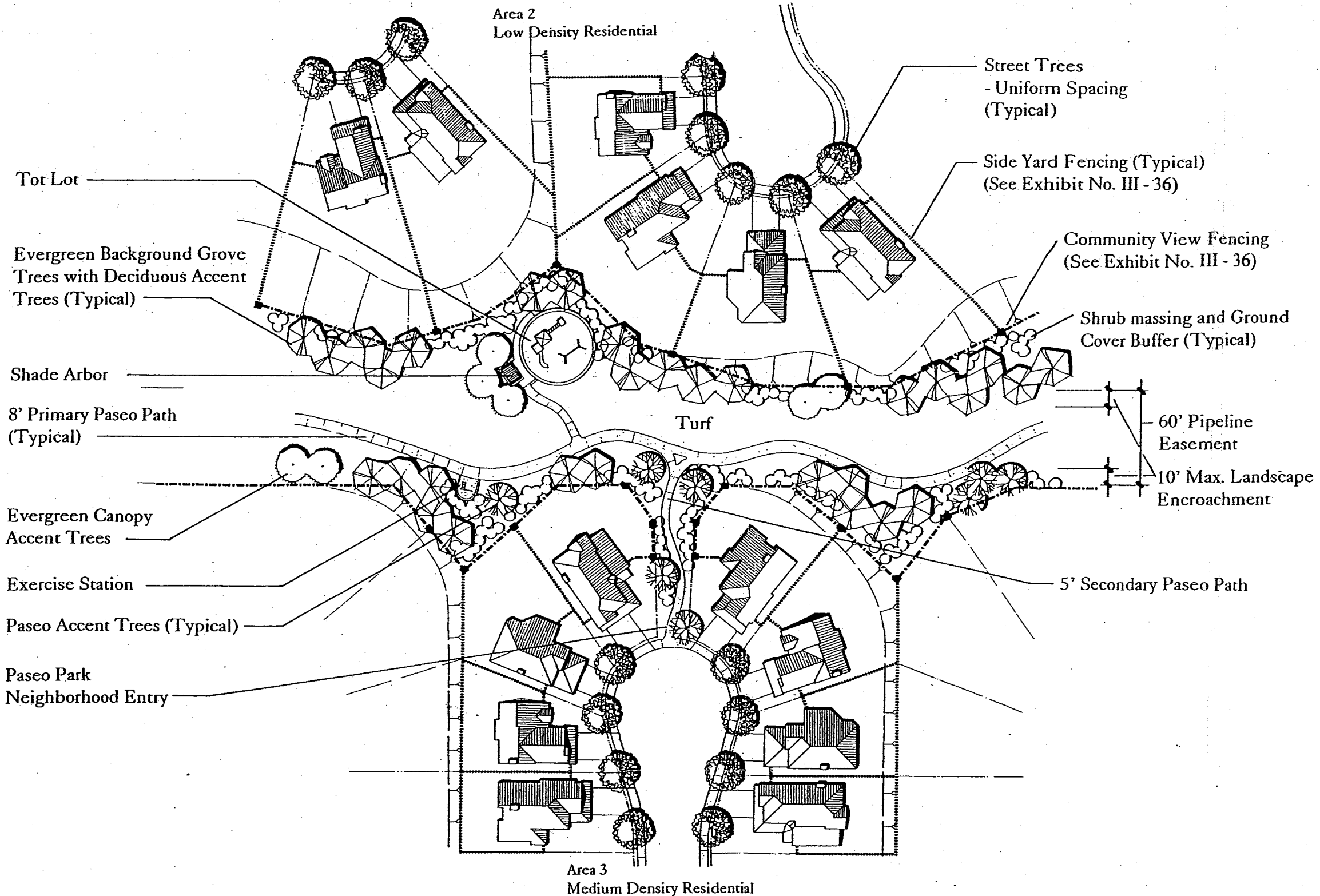
The ensuing discussion will describe both texturally and illustratively the varied streetscapes that can be observed throughout the Heartland community. In some instances, the streetscapes are quite similar and only represent slight variations on a particular theme while in other instances, the streetscapes are quite varied and exhibit very distinctive design elements.

The Landscape Concept Plan, Exhibit III-15, identifies the location of the various streetscape cross-sections throughout the community as described and illustrated on the following pages.

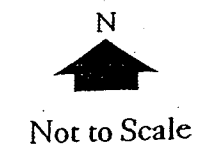
(1) *Urban Arterial (Potrero Boulevard)*

As discussed in the Circulation Section of this text, Potrero Boulevard (also known as the 4th Street Extension) represents a six (6) lane divided urban arterial highway which provides primary access to the Heartland community by way of State Route 60. The westerly half width of Potrero Boulevard interfaces with residential land uses located within planning area number 1 in addition to Heartland's neighborhood commercial center and industrial

Paseo Park Activity /
Entry Node



Heartland Specific Plan
Beaumont, California



H E A R T L A N D

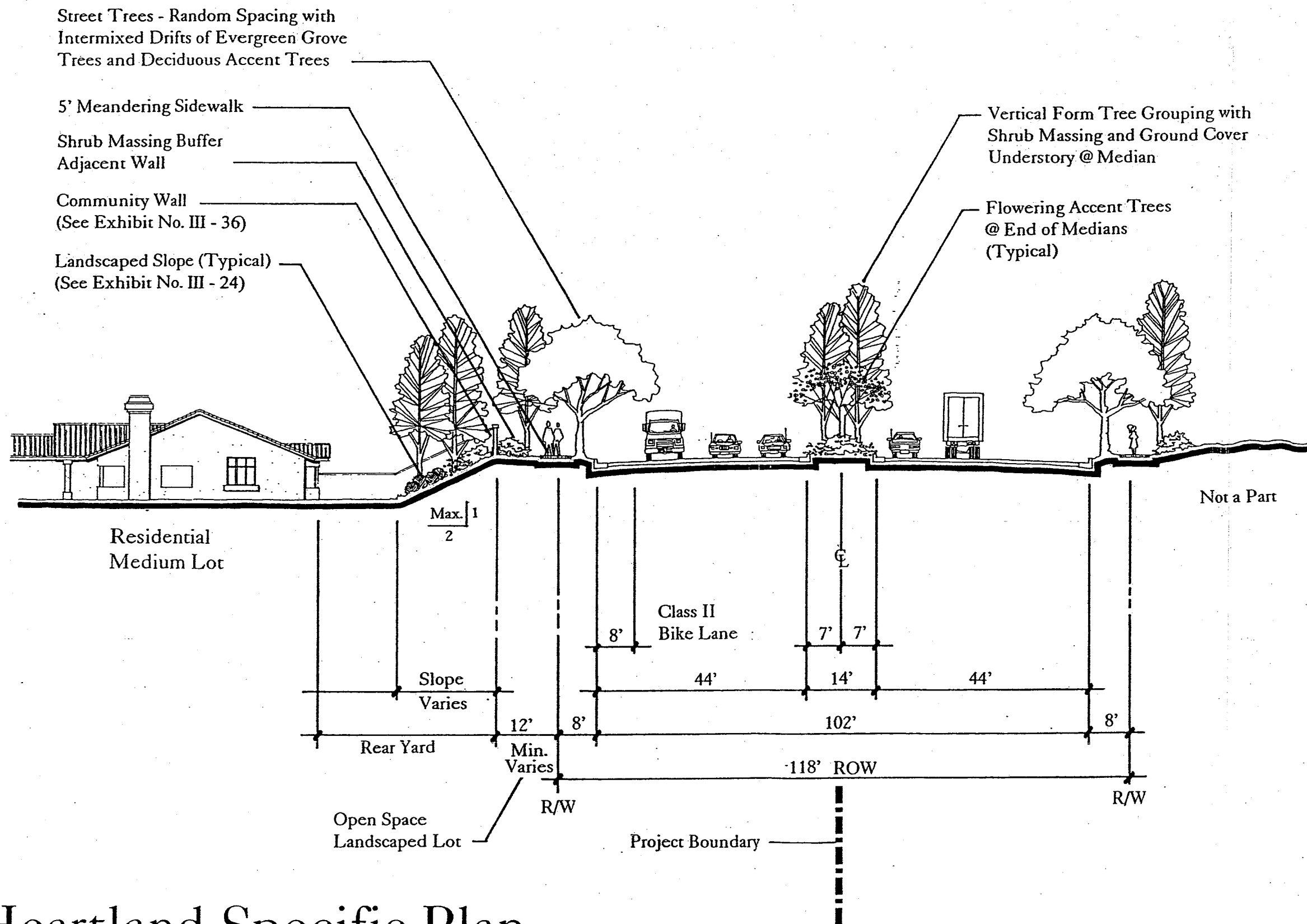
Exhibit No.: III - 21

park area complex. The parkway of Potrero Boulevard along this entire interface condition has been expanded a minimum of 12 feet to accommodate a meandering sidewalk, community theme wall where appropriate and dense stands of trees and shrub plantings in combination of randomly spaced street trees with intermixed drifts of evergreen grove trees and deciduous accent trees (see Exhibit III-22). This expanded landscaped parkway treatment will enhance the overall visual quality of Potrero Boulevard and soften the transition between Potrero Boulevard and the adjacent residential, commercial and industrial land uses. In addition, Potrero Boulevard will incorporate a 14 foot wide raised landscape median. This design feature will provide a physical barrier between the north and south bound traffic and enhance the visual character of the roadway in a manner consistent with other landscape features applied throughout the Heartland community, particularly at the major and secondary community entries.

(2) *Collector Loop Road (Southern Entry)*

The intersection of Heartland's Collector Loop Road (South) with Potrero Boulevard represents the primary gateway/market entry to the Heartland community. Consistent with the entry monumentation and related landscaping, the streetscape concept as illustrated by Exhibit III-23, Streetscape Collector Loop Road, will emphasize a sense of openness. This condition will be achieved by expanding the southern parkway by an additional 12 feet (minimum) in which to accommodate street trees, intermixed with drifts of evergreen grove trees and flowering accent trees. The expanded parkway open space area will also accommodate a meandering sidewalk and three rail wood fence, these features in conjunction with the above referenced tree massing will be perpetuated through the entry monumentation area to create a consistent visual effect. The slope condition located between the Collector Loop Road and the neighborhood commercial center as depicted by Exhibit III-23 will be landscaped in a manner consistent with the above referenced parkway treatment and as such create a sense of continuity between the parkway landscaping treatment and the landscaping applied to the slope transition area. The parkway landscape treatment will be carried over and applied to the raised median, which will be similarly planted in terms of tree groupings, shrub massing and ground cover understory. The north side of the Collector Loop Road will also possess an expanded open space condition by transitioning the parkway into the easternmost segment of the paseo sports park. This approach will provide ample area in which to apply tree groupings and other landscape amenities in a manner consistent with the southern parkway. As depicted by Exhibit III-23, the paseo sports park will be orientated towards the rear yard area of residential lots located within Planning Area 1. The landscape treatment along this interface will consist of evergreen grove trees with deciduous accent trees in combination with ground cover, shrub massing and community wall to create an effective buffer between the open space/paseo and the residential units. In addition, the grading along this interface will

Streetscape
 Urban Arterial (Potrero Blvd.)
 Section G - G

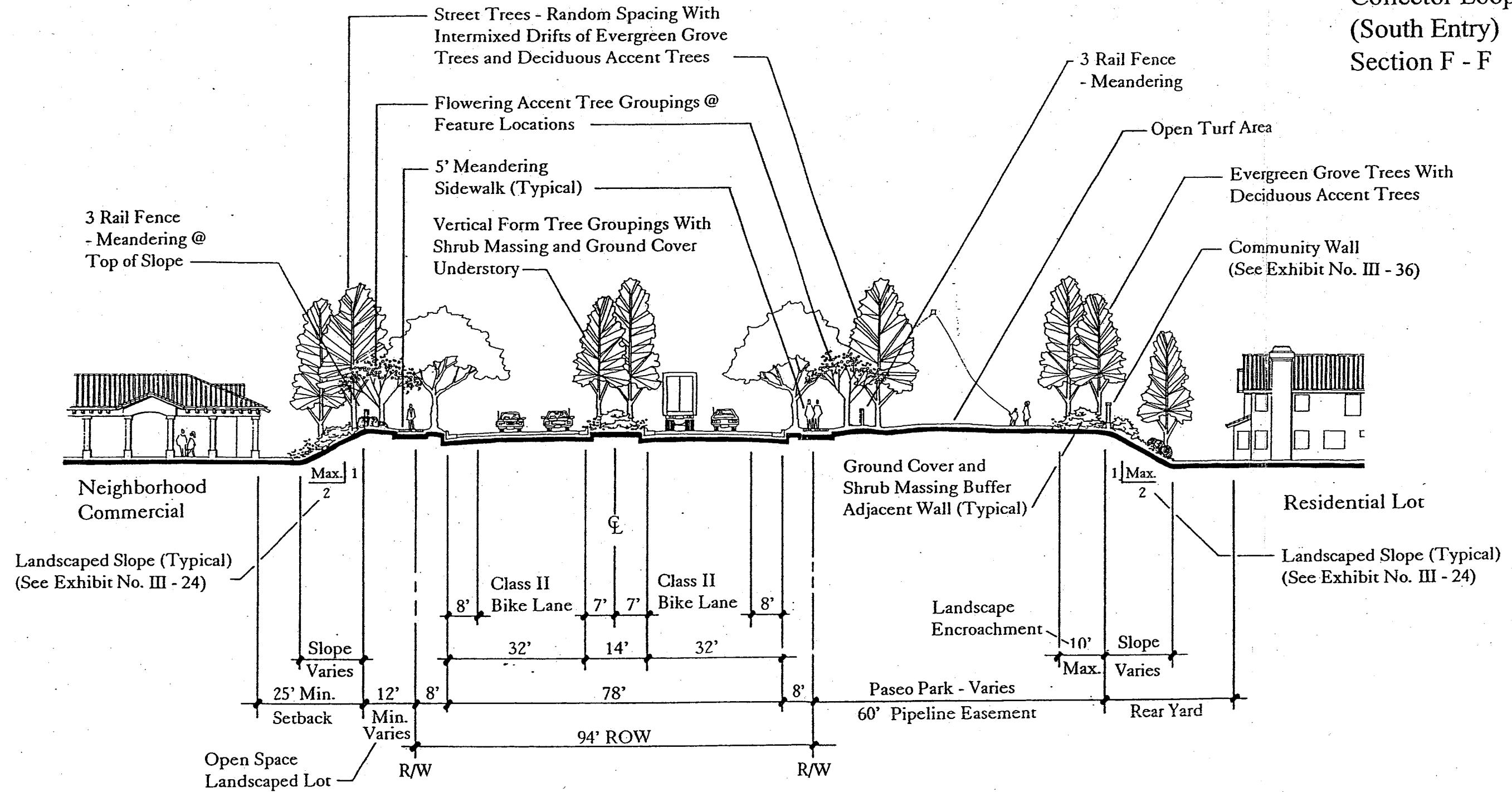


Heartland Specific Plan
 Beaumont, California

H E A R T L A N D

Exhibit No.: III - 22

Streetscape
Collector Loop Road
(South Entry)
Section F - F



Heartland Specific Plan
Beaumont, California

H E A R T L A N D

Exhibit No.: III - 23

lower the residential pads below the paseo sports park, creating a 2 to 1 slope of variable height. The landscaping to be applied along this slope interface will be consistent with the typical landscape slope treatment as depicted by Exhibit III-24.

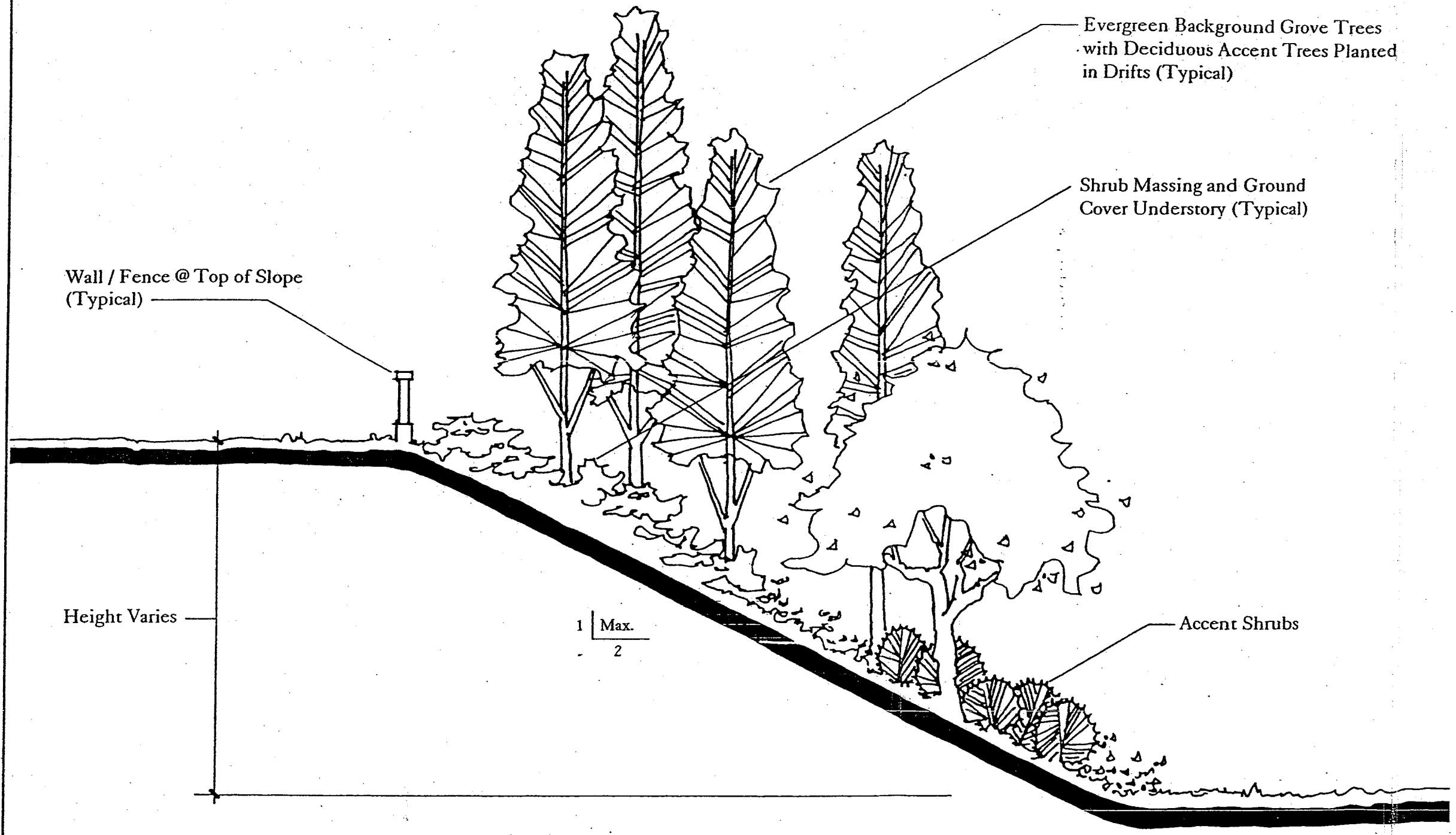
(3) *Collector Loop Road (North)*

The intersection of Heartland's Collector Loop Road (North) with Potrero Boulevard represents the secondary gateway/market entry to the Heartland community. The streetscape concept for this segment of the Collector Loop Road will provide an expanded parkway of 12 feet minimum, which when combined with the standard parkway of 11 feet will create a total parkway area of not less than 23 feet. The corresponding roadway cross section is illustrated by Exhibit III-4a, Cross Section E-E. The expanded parkway design concept will provide additional space in which to accommodate a meandering sidewalk and to soften the transition between the Collector Loop Road and the adjacent residential units through the use of landscape treatments as depicted in Exhibit III-25, Streetscape Collector Loop Road North Entry. The expanded landscape parkway treatment will also enhance the overall visual and esthetic quality of Heartland's Collector Loop Road as viewed from the public right-of-way. The parkway landscape treatment will be carried over and applied to the raised median, which will be similarly planted in terms of tree groupings, shrub massing and ground cover understory. The north side of the Collector Loop Road, adjacent to San Timoteo Creek, will be planted in a manner consistent with the southern parkway and raised median treatment only confined to a parkway area of 5 feet. For public safety reasons and to protect the resources located within the San Timoteo Creek open space and conservation area, a sidewalk has been intentionally excluded as a design feature. Additionally, a three rail wood fence will be incorporated into the landscape concept to enhance the visual effect and to serve as a practical barrier against intrusion into the conservation corridor area.

(4) *Collector Road Streetscape (Section H-H)*

The Collector Road segregating Planning Area 1 and Planning Area 2 will have two distinct streetscapes. The eastern half width will have rear yards orientated towards the collector street and as such an additional 9 feet of open space has been incorporated into the parkway in order to accommodate a landscape buffer treatment as depicted by Exhibit III-26, Streetscape Collector Road. The western half width will have lots fronting the collector street, creating a more conventional streetscape consisting of uniformly spaced street trees, turf parkway and curb side sidewalk, as depicted by Exhibit III-4c, Streetscape Collector Road (Section H-H).

Typical Landscape Slope

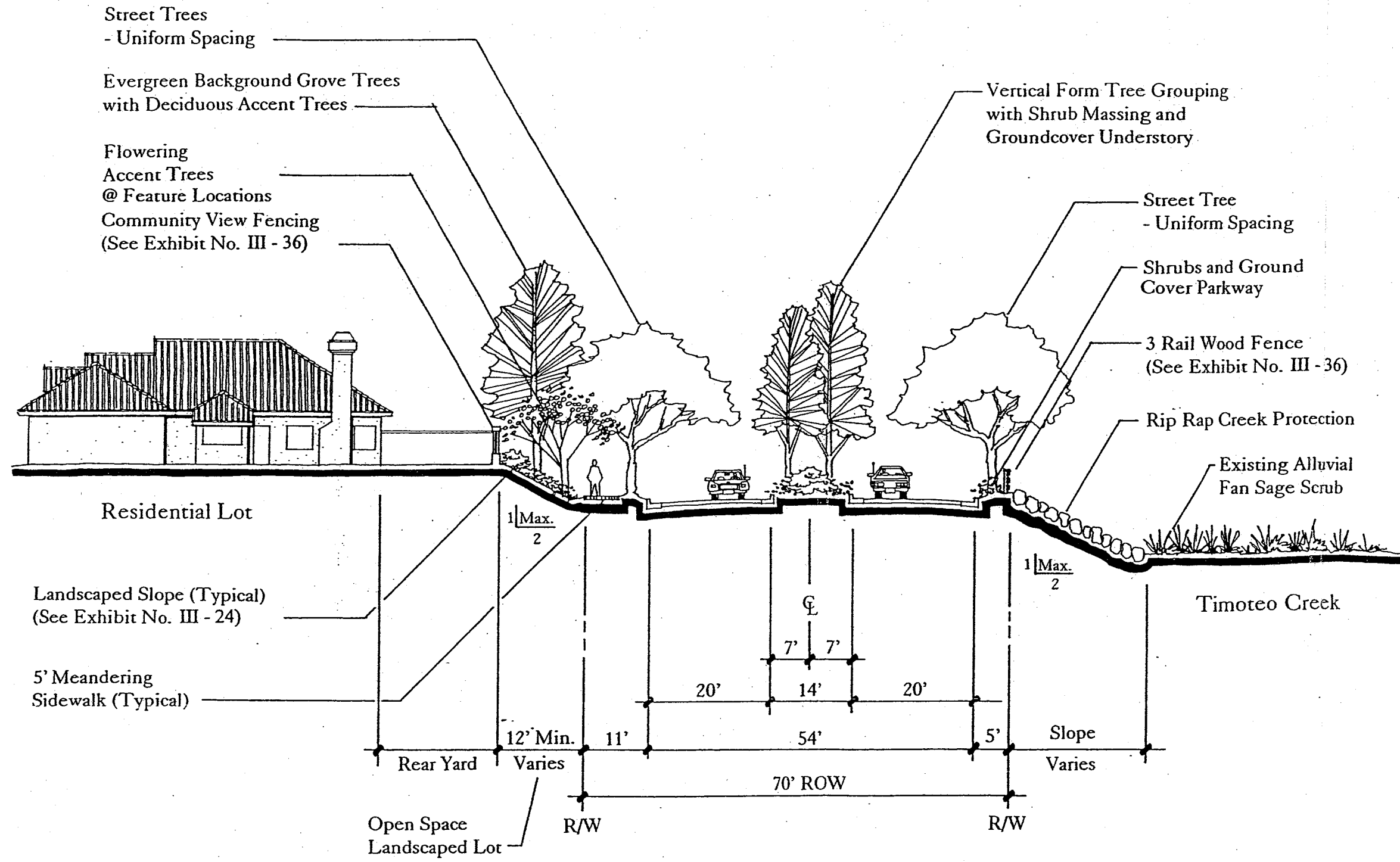


Heartland Specific Plan
Beaumont, California

H E A R T L A N D

Exhibit No.: III - 24

Streetscape
 Collector Loop Road
 (North Entry)
 Section E - E

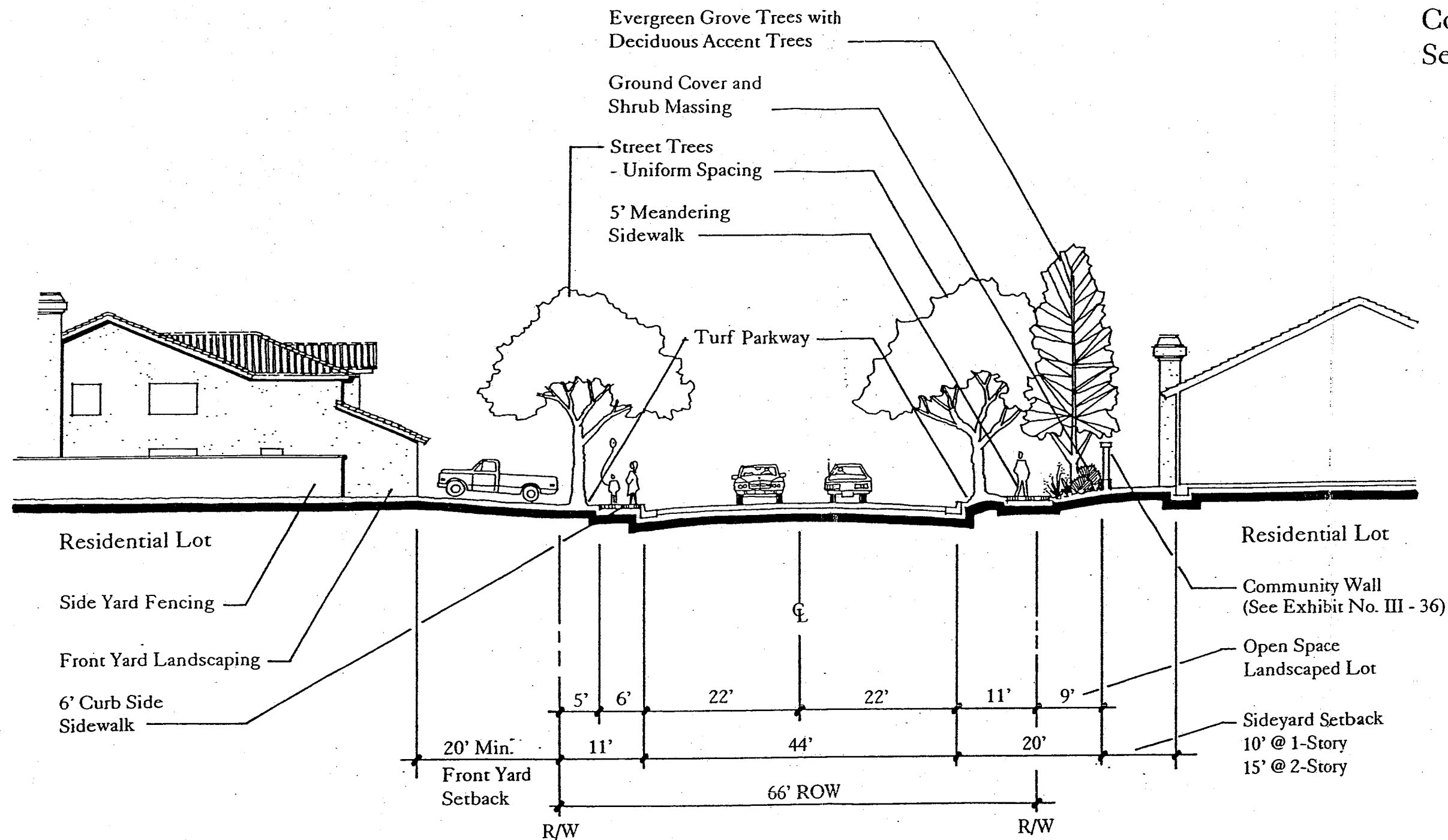


Heartland Specific Plan
 Beaumont, California

H E A R T L A N D

Exhibit No.: III - 25

Streetscape
Collector Road
Section H - H



Heartland Specific Plan
Beaumont, California

H E A R T L A N D

Exhibit No.: III - 26

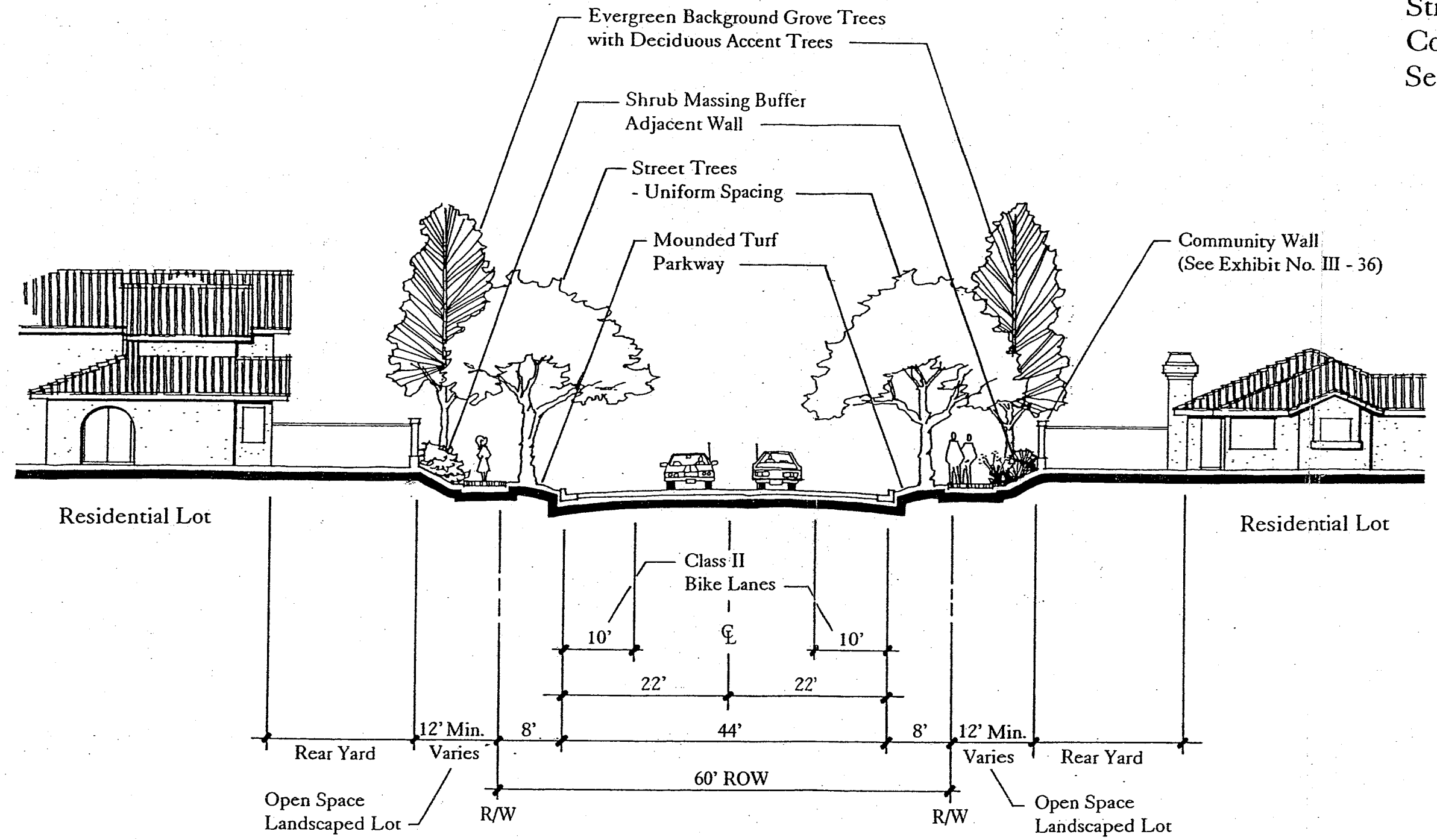
(5) *Streetscape Collector Loop Road (Section D-D)*

The streetscape as illustrated by Exhibit III-27, Streetscape Collector Loop Road, depicts the typical streetscape concept with the rear yard area of residential units orientated towards the Collector Loop Road. The streetscape concept for this segment of the Collector Loop Road will provide an expanded parkway of 12 feet minimum on each side of the right-of-way when combined with the standard parkway of 8 feet will create a total parkway/open space area with not less than 20 feet. The corresponding roadway cross section is illustrated by Exhibit III-4a, Cross Section D-D. The expanded parkway design concept will provide additional open space in which to accommodate a meandering sidewalk and a landscape buffer treatment consisting of evergreen background grove trees, deciduous accent trees, in combination with shrub massing and uniformly spread street trees. The expanded parkway design concept will soften the transition between the Collector Loop Road and the adjacent residential units and enhance the overall visual and esthetic quality of Heartland's Collector Loop Road as viewed from public spaces.

(6) *Streetscape Collector Loop Road (Section E3-E3)*

For a distance of approximately 1200 feet, Collector Loop Road will interface with the Heartland elementary school site. Exhibit III-28, Streetscape Collector Loop Road (Section E3-E3) illustrates the streetscape concept for this segment of the Collector Loop Road which will provide an expanded parkway/landscape setback of 20 feet which when combined with the standard parkway of 11 feet will create a total parkway area of 31 feet. The corresponding roadway cross section is illustrated by Exhibit III-4b, Cross Section E3-E3. The expanded parkway design concept adjacent to the school facility will provide additional open space in which to accommodate a bermed landscaped treatment consisting of randomly spaced street trees intermixed with drifts of evergreen grove trees and deciduous accent trees in combination with shrub massing and ground cover. The school facility/parkway interface treatment will soften the visual impacts associated with the school facility's large consolidated asphalt parking area as viewed from the Collector Loop Road. In order to accommodate the pedestrian traffic anticipated to occur in conjunction with school activities, this segment of the Collector Loop Road parkway landscaping will incorporate a 10 foot curbside sidewalk as an alternative to the 6 foot meandering sidewalk applied throughout the remaining segments of the Collector Loop Road parkway. The north side of the Collector Loop Road, adjacent to San Timoteo Creek, will be planted in a manner consistent with the parkway adjacent to the school site, only confined to a parkway area of 5 feet. For public safety reasons and to protect the resources located within the San Timoteo Creek open space and conservation area, a sidewalk has been intentionally excluded as a design element. Additionally, a three rail wood fence will be

Streetscape
Collector Loop Road
Section D - D

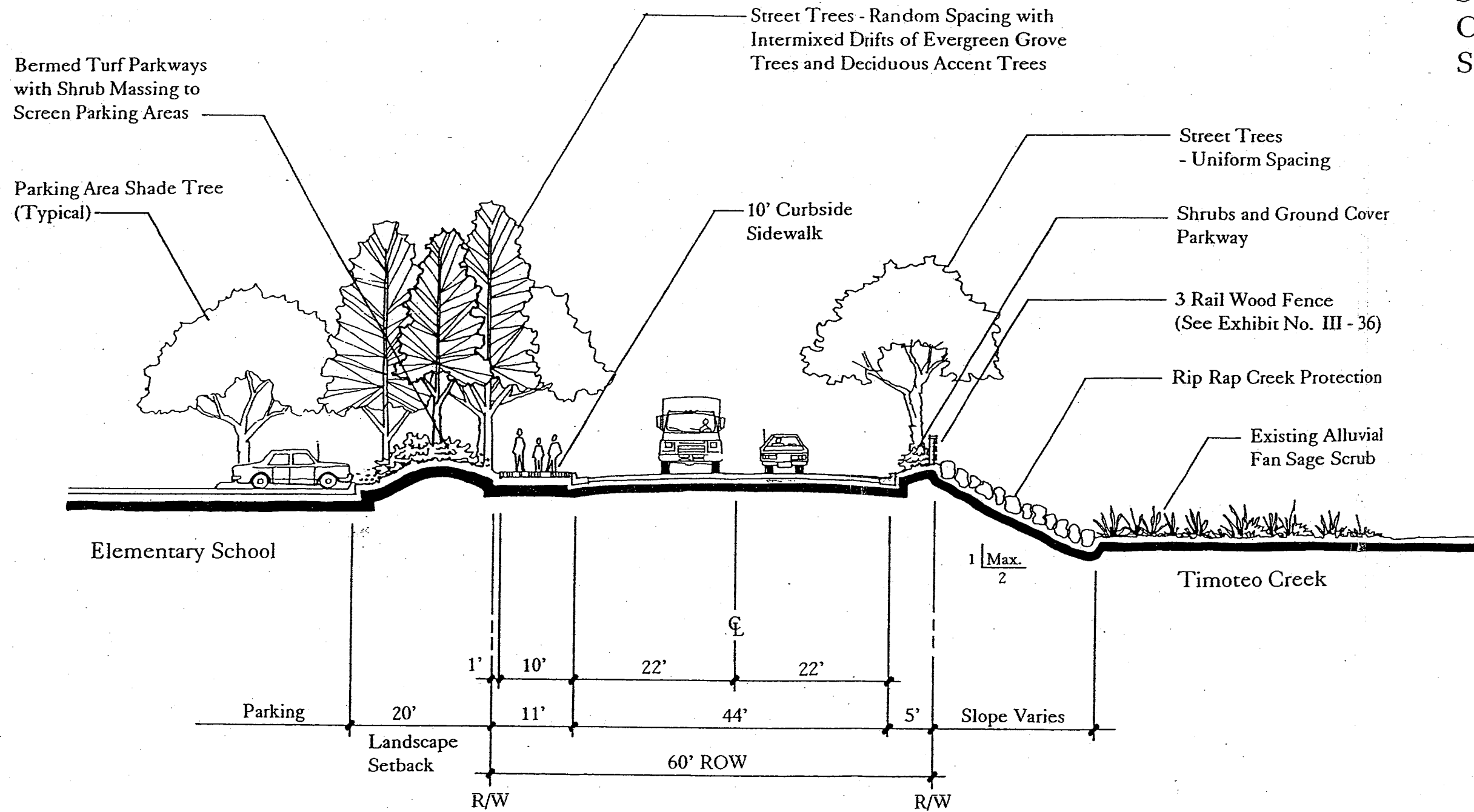


Heartland Specific Plan
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H E A R T L A N D

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Streetscape
Collector Loop Road
Section E₃ - E₃



Heartland Specific Plan
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Exhibit No.: III - 28

incorporated into the landscape concept to enhance the visual effects and to serve as a physical deterrent against intrusion into the conservation corridor area.

(7) *Streetscape Local Roadways (Section A-A)*

The streetscape concept for local roadways will reflect a conventional neighborhood street scene with the front yards of the residential lots oriented towards the roadway. See Exhibit III-29, Streetscape Local Roadways (Section A-A). The streetscape will consist of a curbside sidewalk, uniformly spaced street trees and conventional front yard landscaping.

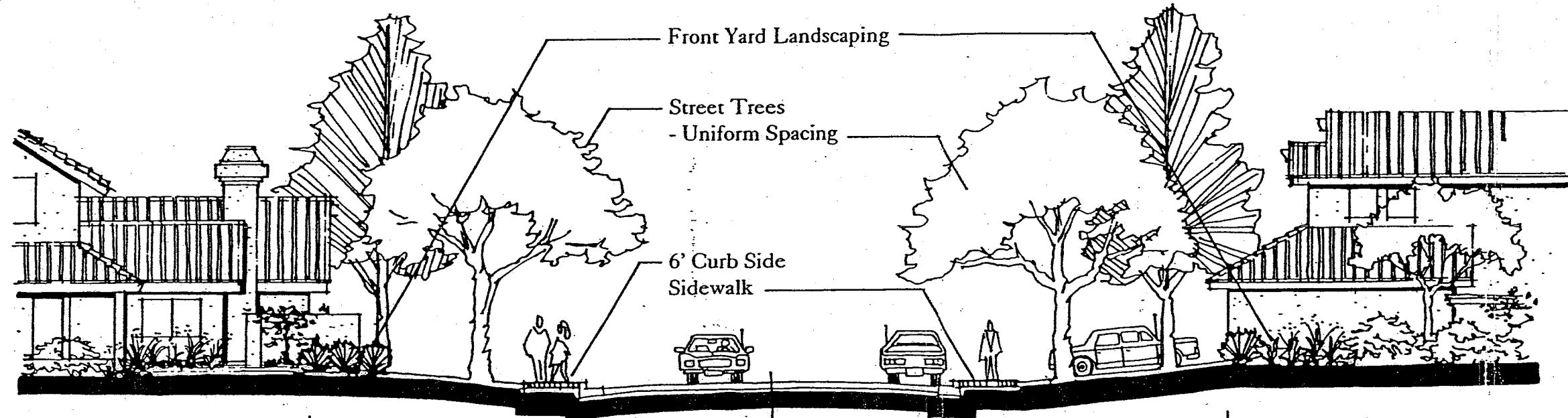
(8) *Streetscape Industrial Spine Road (Section K-K)*

The industrial spine road will parallel San Timoteo Canyon Road and provide the primary access to the various industrial park components, terminating in a cul-de-sac at the respite park, Planning Area No. 8. The streetscape concept for the industrial spine road will be similar to the concepts applied to the residential streets and as such establish continuity between the two components of the Specific Plan. The industrial spine road parallels San Timoteo Creek open space and conservation area in the same manner as the Collector Loop Road North. As such, the southern parkway will be landscaped in a similar fashion consisting of a 5 foot parkway area exclusive of a sidewalk. Within this 5 foot parkway, uniformly spaced street trees in combination with shrubs and ground cover will be planted in conjunction with a three rail wood fence. See Exhibit III-30, Streetscape Industrial Spine Road (Section K-K). The design concept will enhance the street scene and serve as a deterrent against intrusion into the San Timoteo Creek conservation corridor area. The northern parkway incorporates a 25 foot building and landscape setback area in which to incorporate design features such as bermed turf areas, evergreen background grove trees with deciduous accent trees in combination with shrub massing and ground cover understory. The building setback landscape area concept will enhance the overall esthetic quality of the industrial spine road and soften the visual impacts often associated with the massing and scale of large industrial buildings.

(9) *Streetscape Industrial Collector Road (Section M-M) and Local Industrial Road (Section L-L)*

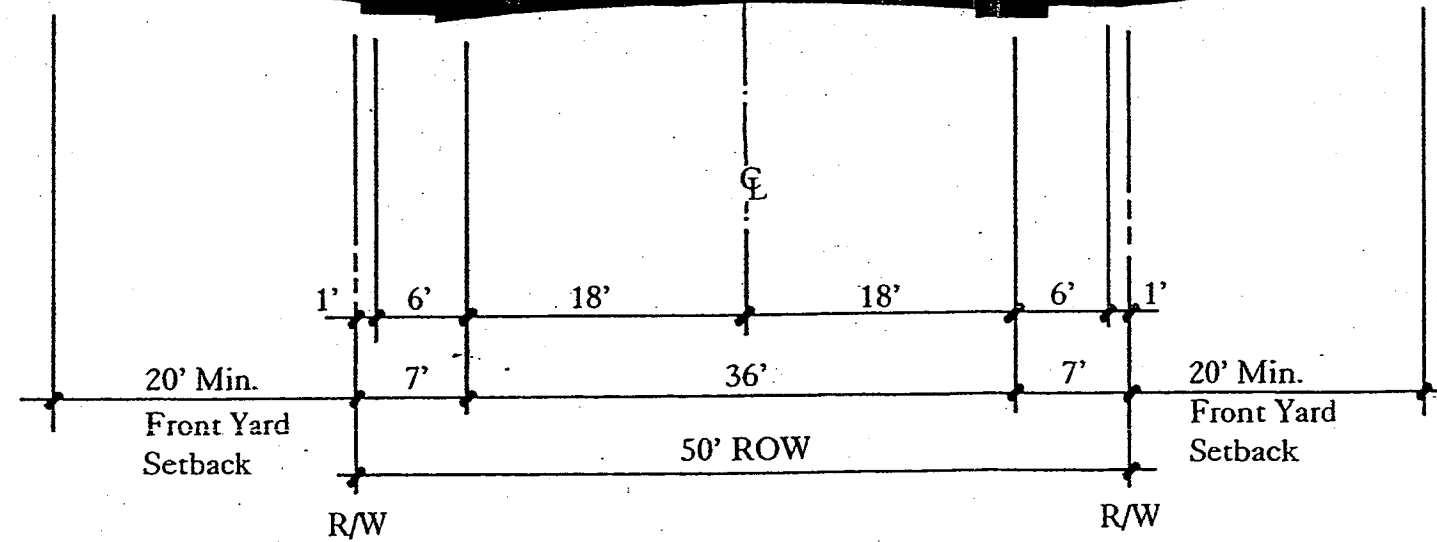
The streetscape concepts for the above referenced industrial streets are very similar and as such the two streetscape designs have been combined into a single discussion. Unlike the preceding industrial spine road example, the industrial collector road and local industrial road will have industrial lots/parcels fronting on both sides of the right-of-way (see Exhibits III-31 and III-32). As such, the streetscape concept will be symmetrical and identical in

Streetscape
Short Local Road
Section A - A



Residential Lot

Residential Lot

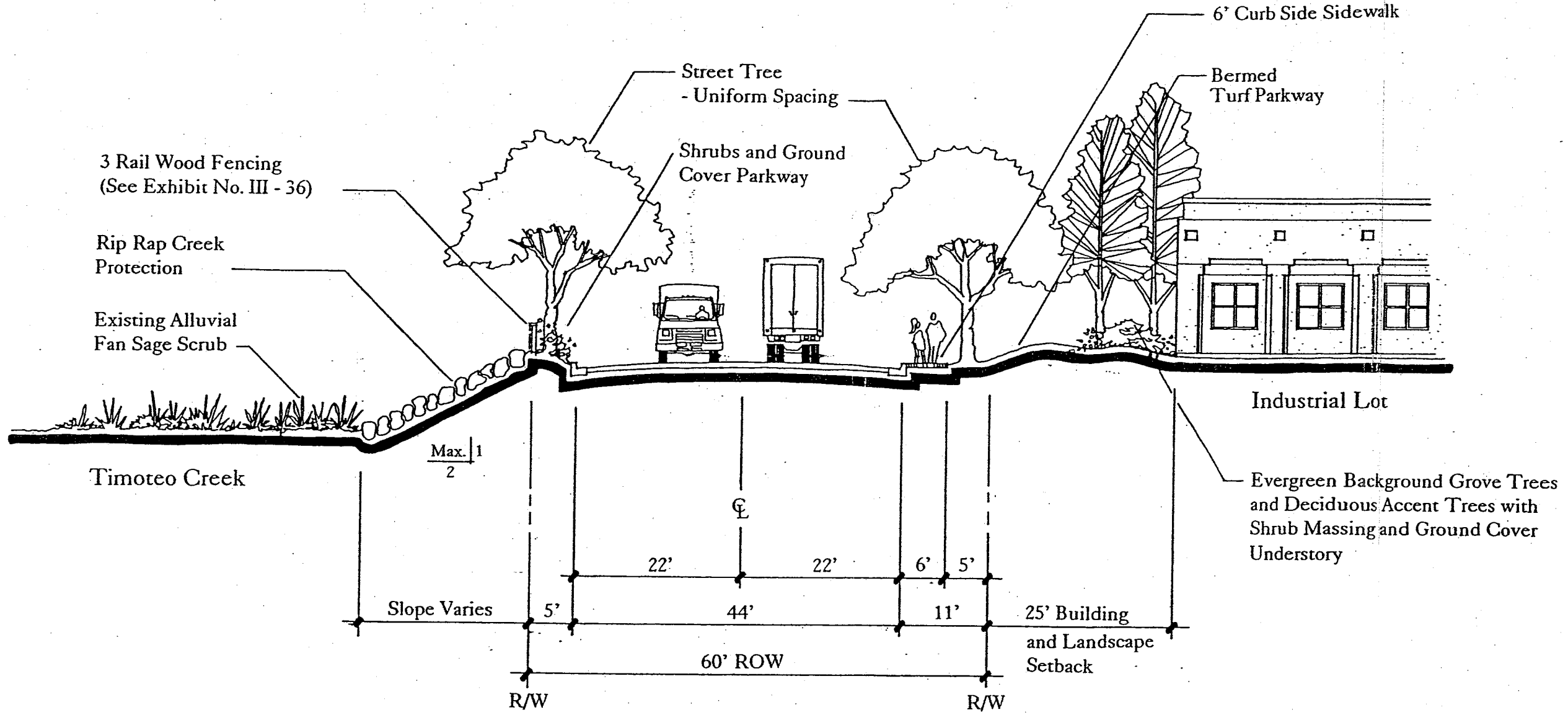


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Beaumont, California

H E A R T L A N D

Exhibit No.: III - 29

Streetscape
 Industrial Spine Road
 Section K - K

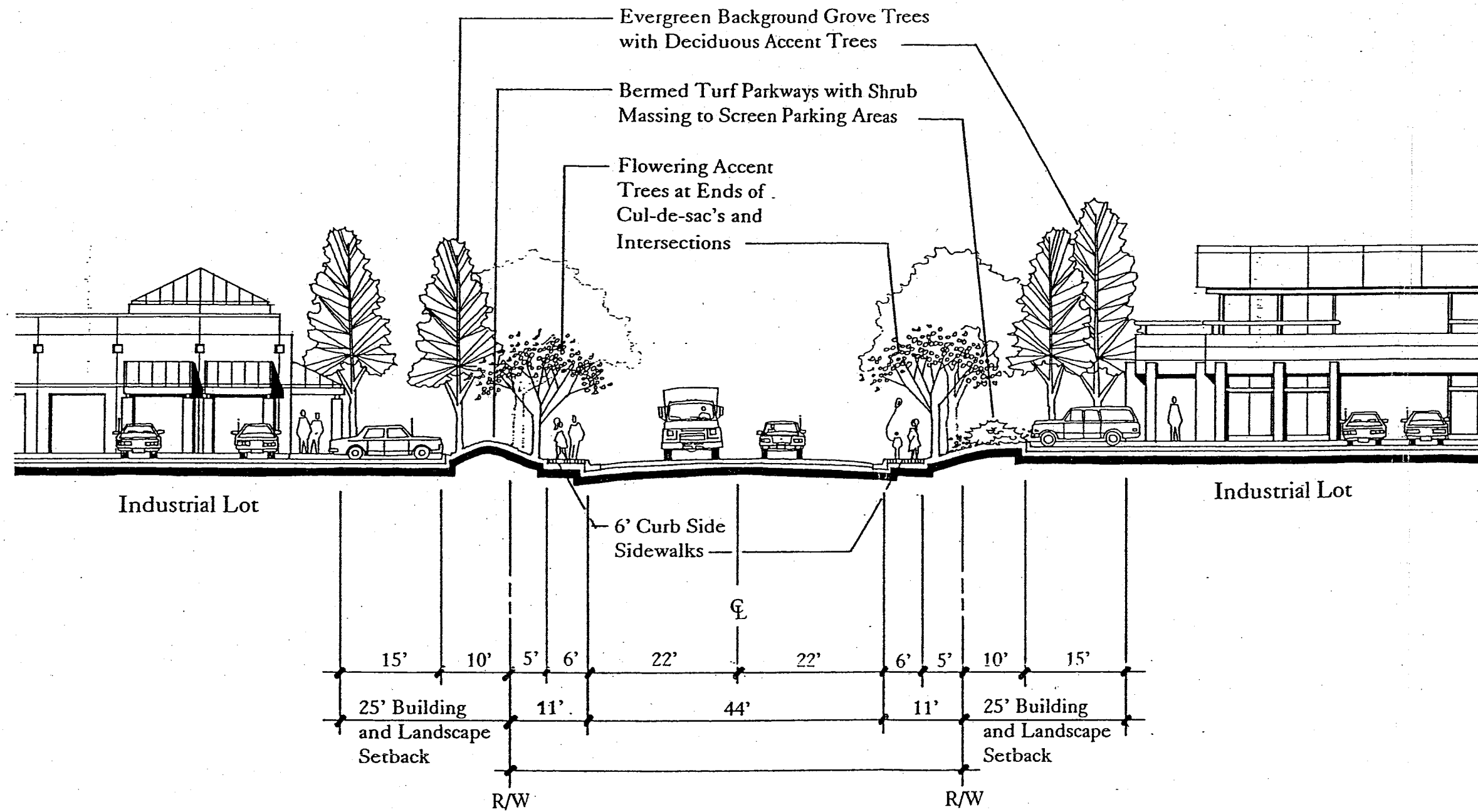


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H E A R T L A N D

Exhibit No.: III - 30

Streetscape
Local Industrial Road
Section L - L

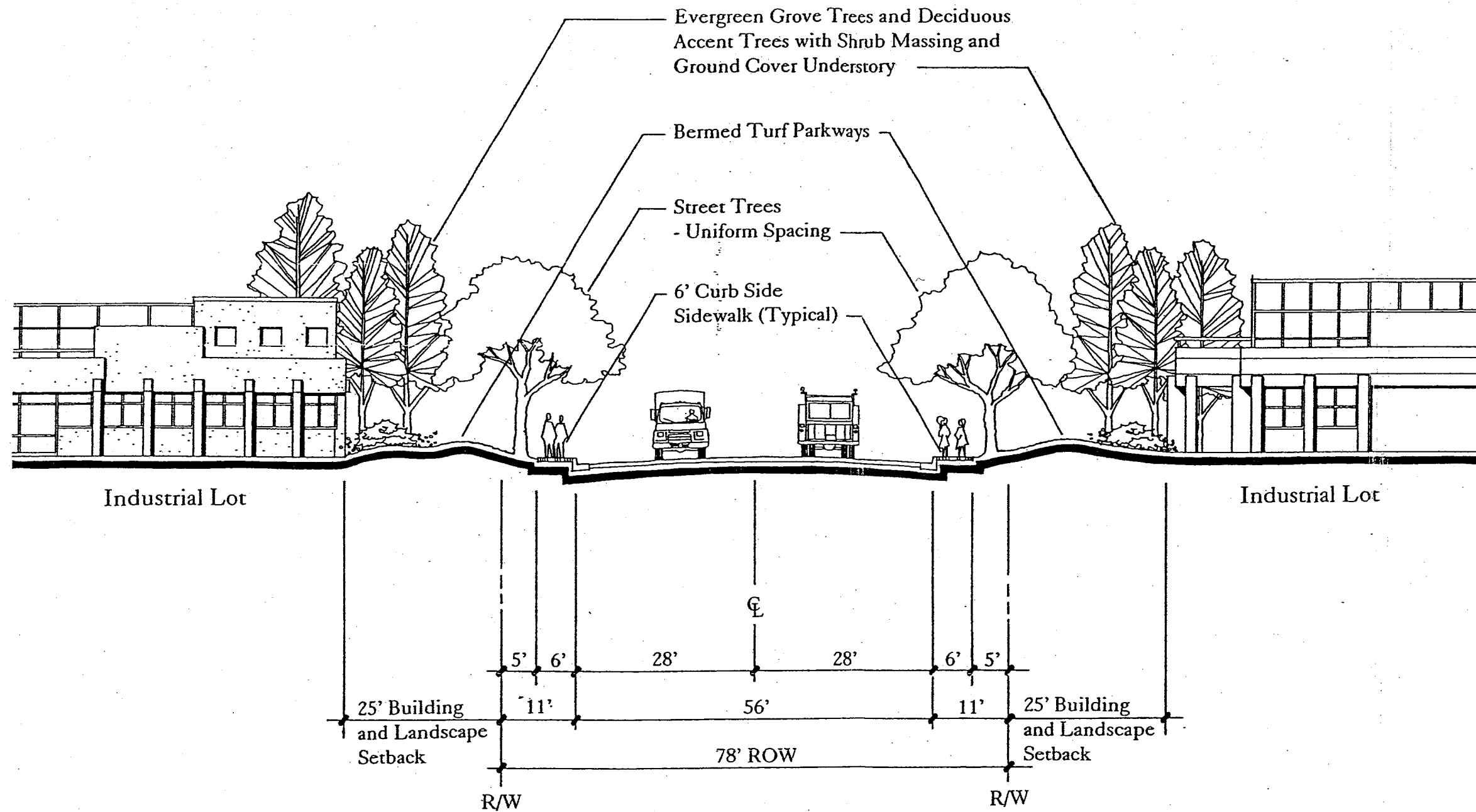


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H E A R T L A N D

Exhibit No.: III - 31

Streetscape
 Industrial Collector Road
 Section M - M



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terms of the building and landscape setback feature applied to the industrial spine road's northern parkway.

c) *PASEO OPEN SPACE AND SPORTS PARK*

A significant element setting the character of the Heartland community is the centrally located paseo sports park/greenbelt open space system. The paseo sports park and associated primary and secondary trails provide a unique pedestrian circulation feature which connects the various residential neighborhoods with numerous active recreational nodes and the elementary school facility, as depicted by Illustrative Land Use Linkage Plan, Exhibit III-33. There are two primary cross sections which typify the paseo/open space and its relationship to residential land uses and active recreational elements.

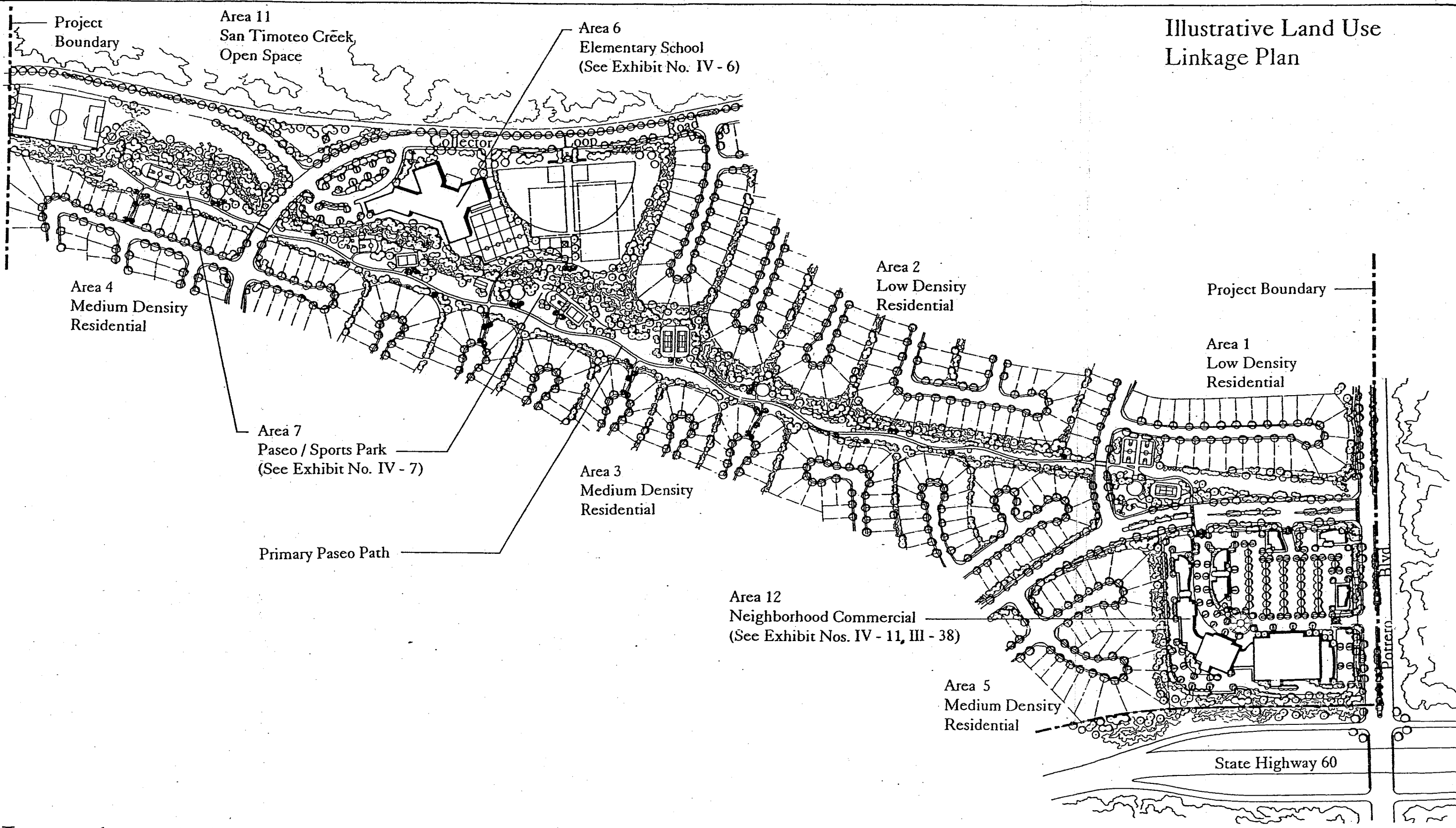
(1) *Paseo Park Section*

The elongated paseo park will extend the entire length of the Heartland community in an east-west orientation creating a long continuous open space corridor connecting the various active recreation amenities. Exhibit III-34, Paseo Park Section, illustrates the relationship of the paseo open space corridor to the adjacent residential land uses in terms of grading and landscape buffer treatments. As illustrated by Exhibit III-34, Paseo Park Section, a landscape buffer treatment consisting of trees, shrubs and community walls will be incorporated between the paseo open space corridor and the adjacent residential lots. In addition, the pads for residential structures in the main will be graded below the paseo open space area and as such create a descending slope condition. This slope area will be landscaped in a manner consistent with Exhibit III-24, Typical Landscaped Slope.

(2) *Paseo/Sports Park Section*

At approximately mid-point along the paseo open space greenbelt, the elongated open space corridor opens up to a significantly wider and increasingly more active area which includes the most significant active recreation component, the sports park. Exhibit III-35, Paseo Sports Park Section, illustrates the relationship between the various land uses, i.e., residential, paseo greenbelt, activity node and the sports park. The sports park area falls away from the paseo open space corridor and activity node area, creating a 2 to 1 slope condition. The slope area will be landscaped in a manner consistent with Exhibit III-24, Typical Landscaped Slope. The paseo greenbelt will be placed between the activity node and the adjacent residential structures in order to create a setback/transition area between the two land uses. This condition will be further reinforced through the use of community fencing in combination with a landscape buffer consisting of

Illustrative Land Use Linkage Plan



Heartland Specific Plan
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H E A R T L A N D

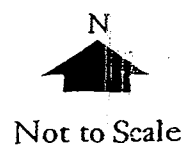
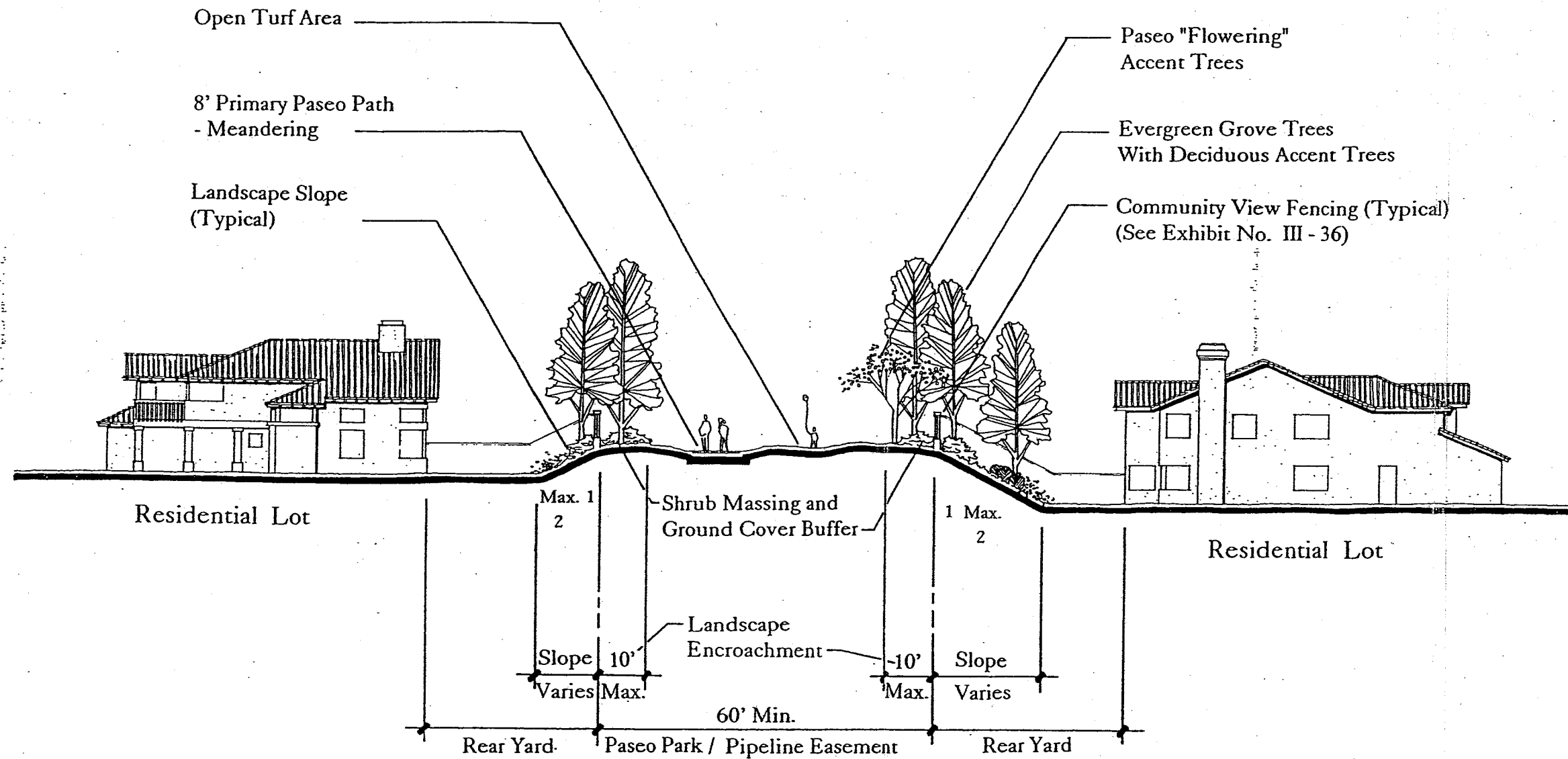


Exhibit No.: III - 33

Paseo Park Section

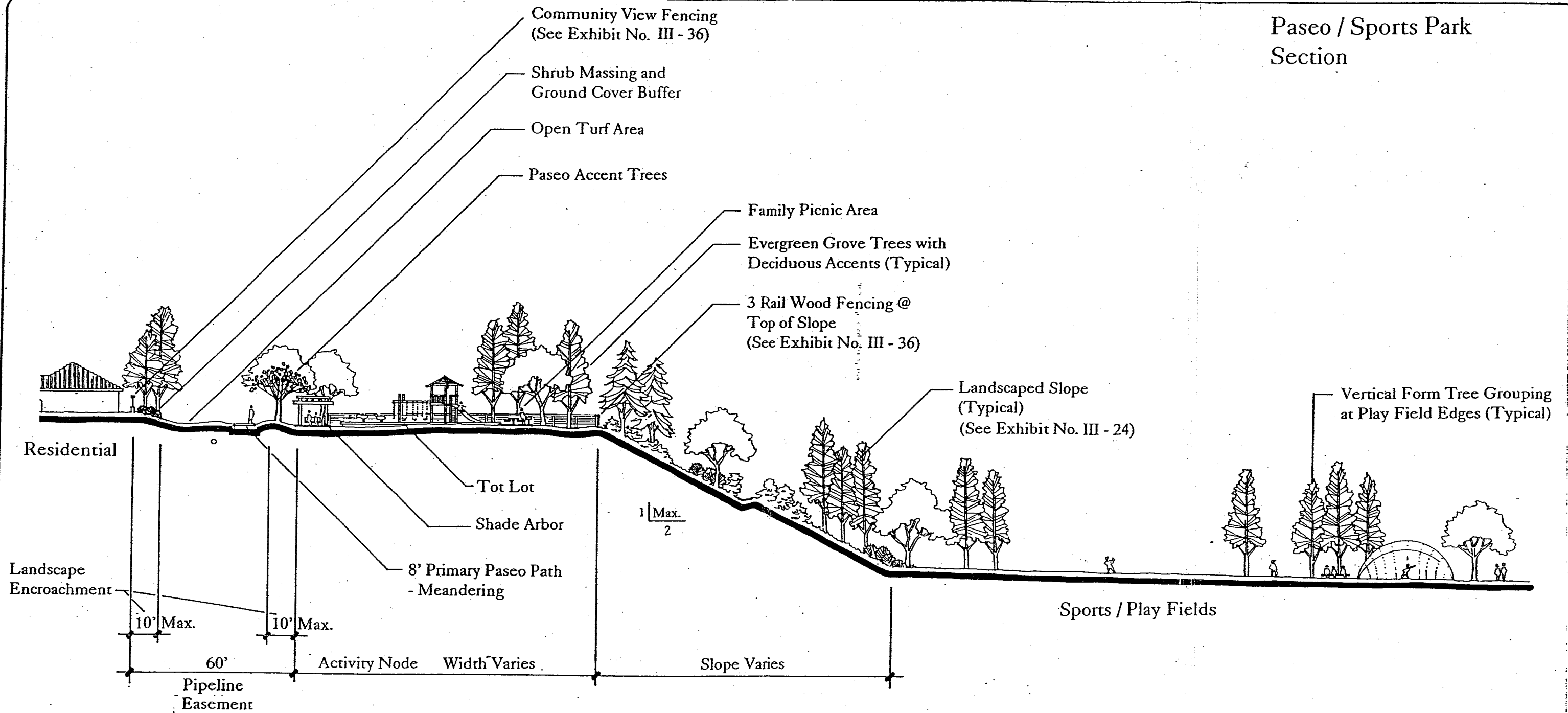


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Beaumont, California

H E A R T L A N D

Exhibit No.: III - 34

Paseo / Sports Park Section



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H E A R T L A N D

Exhibit No.: III - 35

vertical form tree groupings and shrub massing. Clusters of evergreen grove trees in combination with deciduous accent trees will be incorporated into the paseo park activity node in order to provide shade areas and to enhance the overall visual and esthetic quality of the park setting.

d) *COMMUNITY WALLS AND FENCES*

Community walls and fences that can be viewed from public places form an integral part of the community design. Community walls and fence treatments can unify the various land uses and reinforce the design themes established at the major and secondary project entries and neighborhood identity nodes. A set of standards has been established for the community walls and fence treatments to be applied throughout the Heartland community as illustrated by Exhibit III-35, Wall and Fence Elevations. The location of each of the various wall and fence applications will vary depending upon final detail design and grading considerations. Exhibit III-37 illustrates the anticipated locations where the various wall and fence types may be applied based on current lot layout and grading information. The following provides a brief discussion of the various wall and fence treatments and general examples of their appropriate applications.

(1) *Community Walls*

Community wall treatments are appropriate and should be applied along streets, side yards at corners and along project perimeters. In addition, community walls can be integrated into community and neighborhood entry monumentation designs.

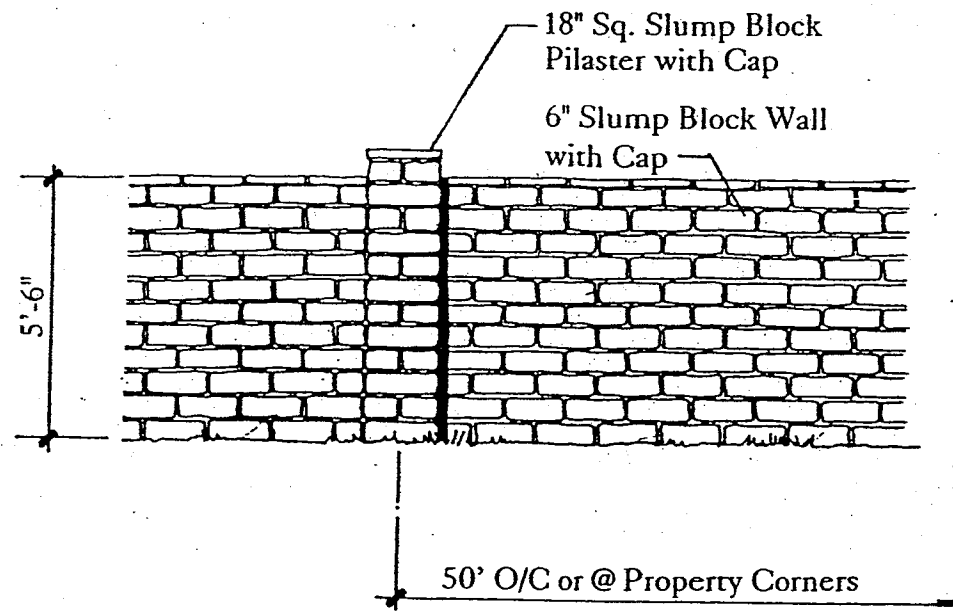
(2) *Community Wall (View Fence)*

Community view fences can be characterized as semi-transparent utilizing such materials as tubular steel or wrought iron grillwork between "theme" wall treatments which are appropriate and should be applied as perimeter fencing at the top of slopes, on lots where vistas are to be maintained and in circumstances where privacy will not be sacrificed and where community wall treatment is not providing a noise attenuation function.

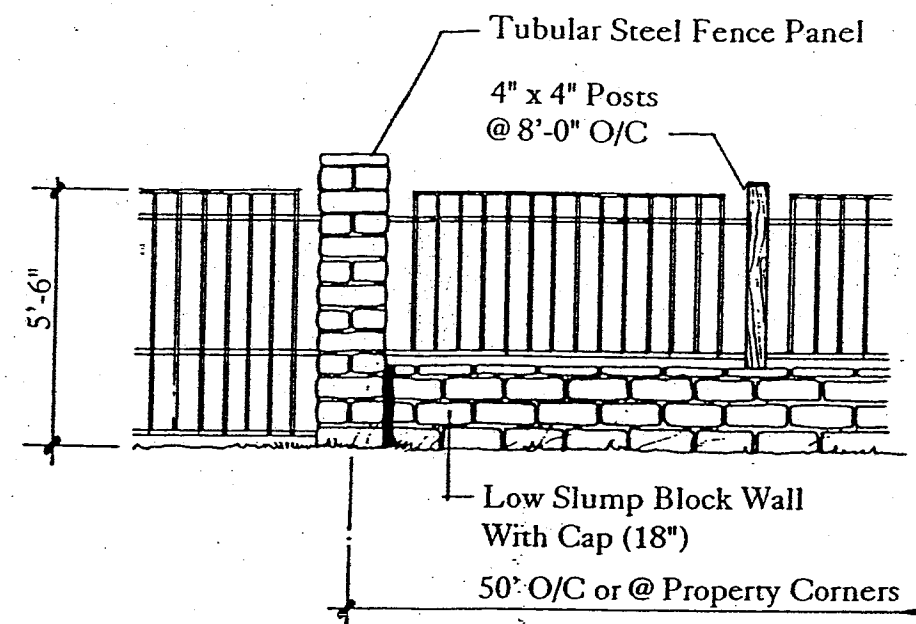
(3) *Wood Fencing*

Wood fencing is appropriately applied on side and rear yards, interior to the subdivision and providing the fence treatment is not constructed for noise attenuation purposes. Side yards and rear yards adjacent to through streets and major thoroughfares should be of a decorative block wall variety, herein referred to as community walls. In side and rear yards where vistas are to be

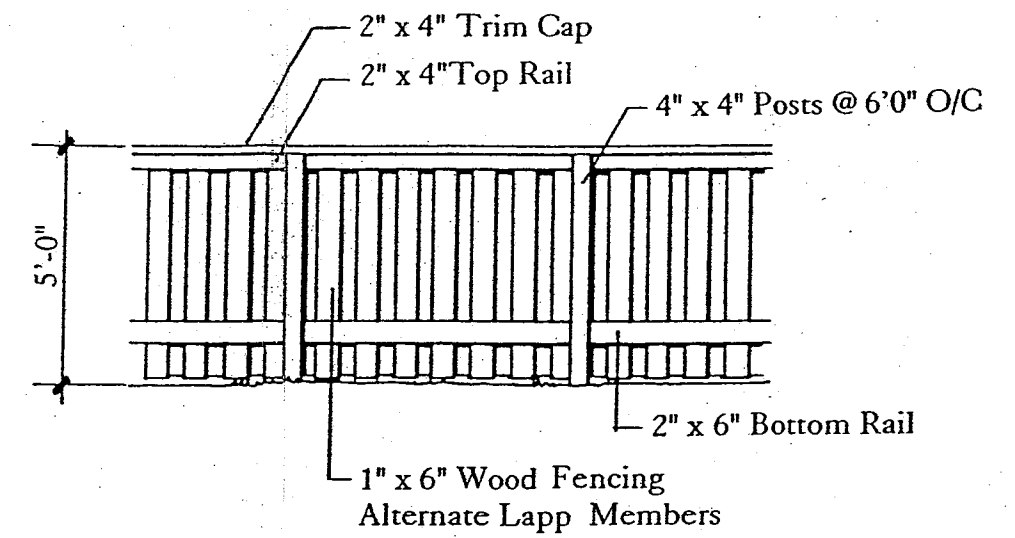
Wall and Fence Elevations



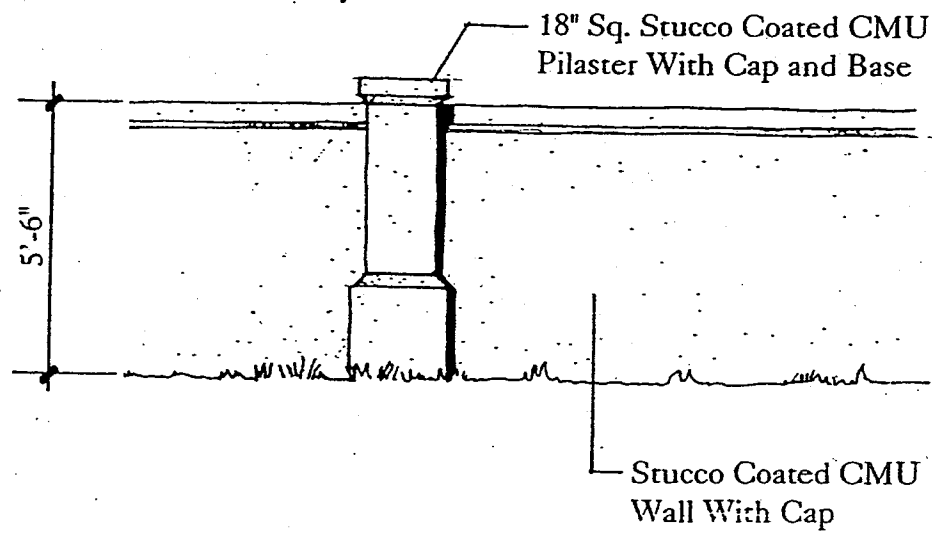
Community Wall



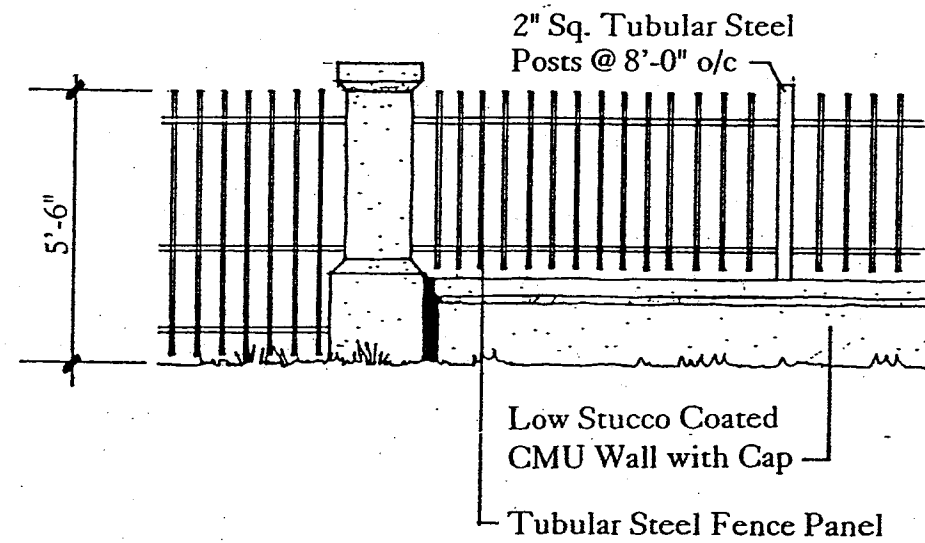
Community View Fence



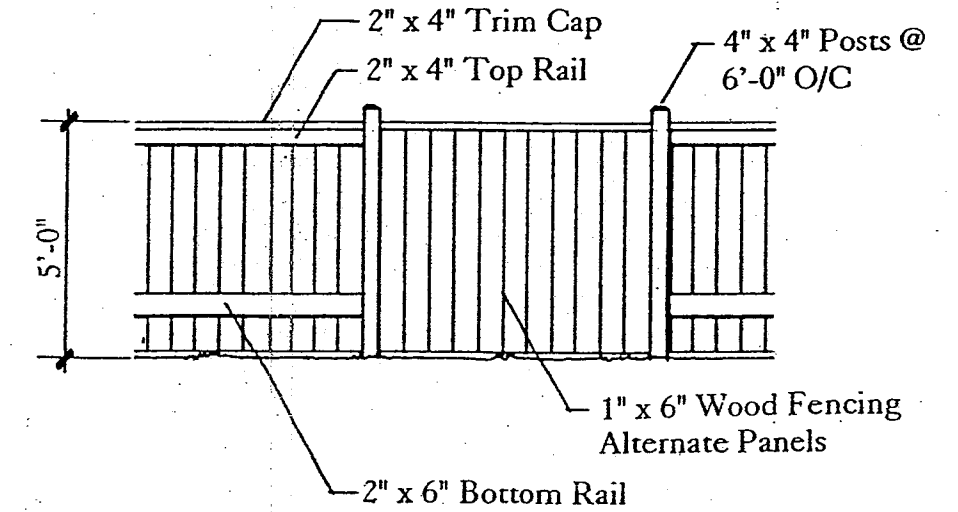
Side Yard Fencing



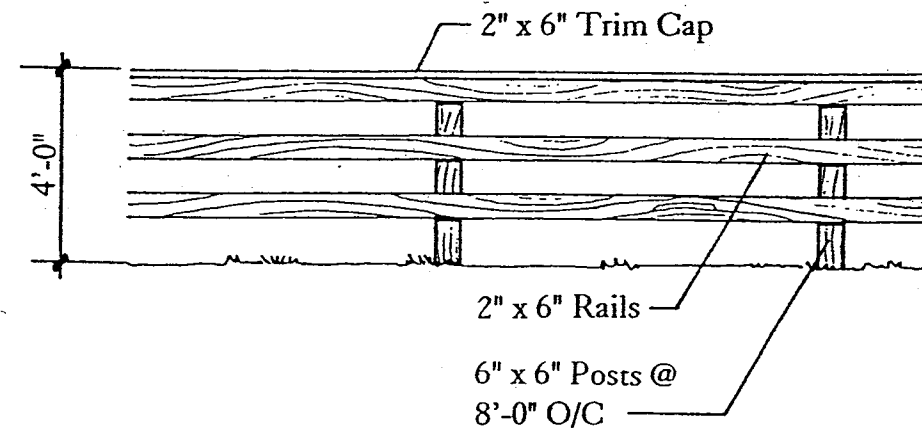
Alternative Community Wall



Alternative Community View Fence



Alternative Side Yard Fencing

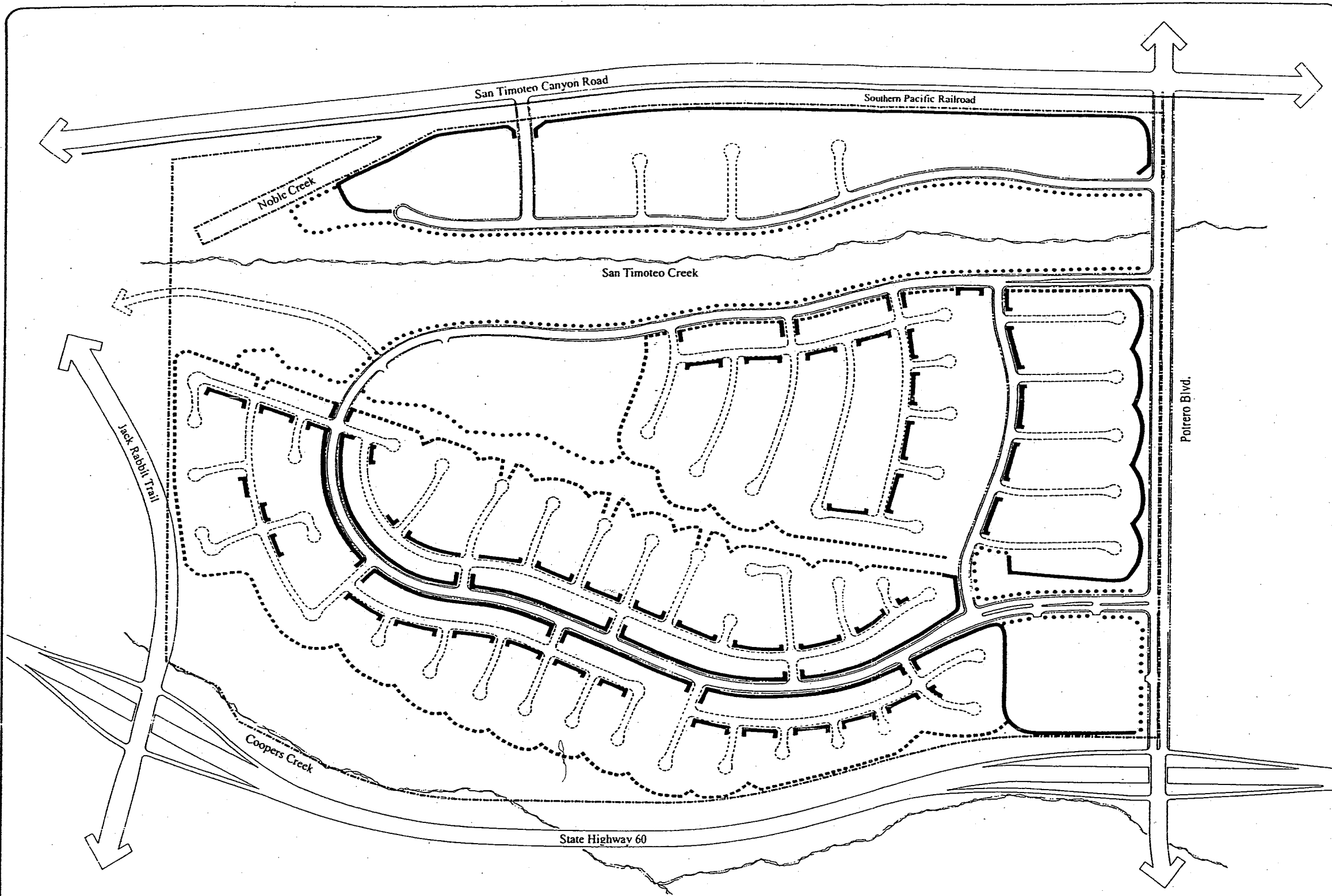


3 Rail Wood Fence

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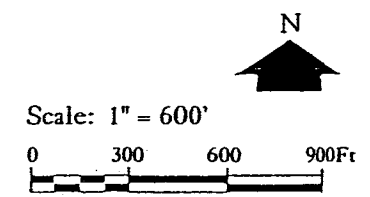
Exhibit No.: III - 36



Community Walls and Fence Plan

- 6' Solid Community Wall
- - - - 5'-6" Tubular Steel Community View Fence
- 3 Rail Wood Fence (Creek and Park Edges)

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Exhibit No.: III - 37

reserved, tubular steel inset in combination with decorative "theme" walls may be used providing privacy is not sacrificed.

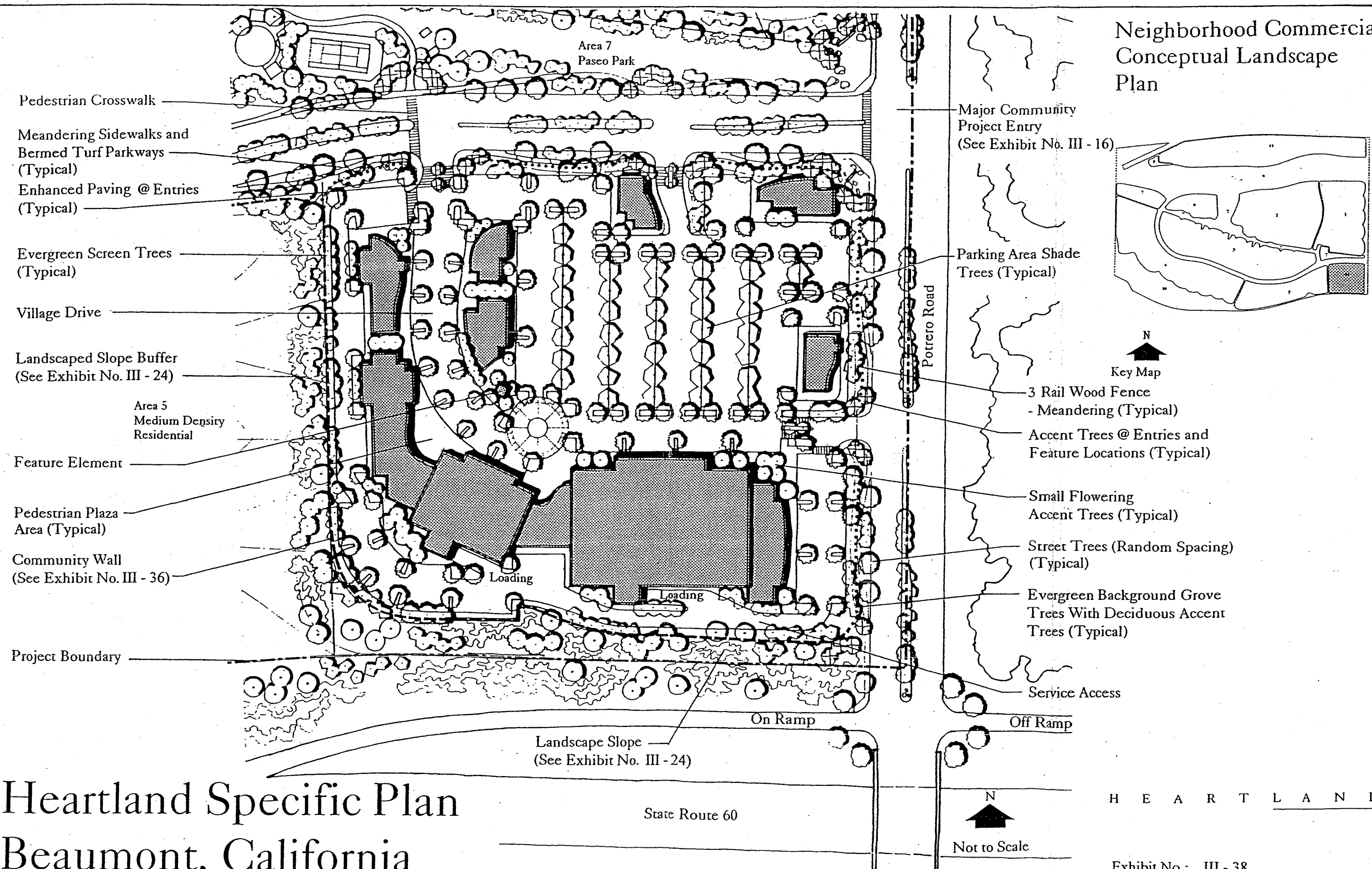
e) *NEIGHBORHOOD COMMERCIAL LANDSCAPE PLAN*

The neighborhood commercial center fronts along Potrero Boulevard on the east and Heartland's Collector Loop Road to the north. The design concept for both of these roadways includes an expanded parkway feature of 12 feet (minimum) in which to accommodate a landscape buffer treatment. As depicted by Exhibit III-38, Neighborhood Commercial Conceptual Landscape Plan, evergreen background grove trees in combination with deciduous accent trees and three rail wood fence will surround the commercial center on two sides, whereby integrating the commercial development into the overall community setting. Visual windows into the commercial development will be created by massing the grove trees on perimeter street scenes. A formal entry planting in the form of accent trees will be incorporated at the commercial development's vehicular access points. Side yard and rear yard service areas will be screened from State Route 60 located to the south and residential land uses within Planning Area No. 5 to the west of the commercial center, through a combination of 6 foot community theme wall and landscape slope buffer treatment as illustrated by Exhibit III-24, Typical Landscape Slope Treatment. Internally, all areas of the site not occupied by structures or otherwise utilized, will be landscaped with ground cover, turf and/or trees selected from the community plant list, located in Appendix A. Landscaped islands shall be provided at the ends of interior stall rows to break up parking areas. These islands are to provide a minimum of 10 foot landscaped width in which to accommodate planting and mounding. The concept plan encourages the creation of large planting islands (tree groves) as opposed to small pockets of individual trees. Parking areas that are located adjacent to public rights-of-way will utilize a combination of landscaped berms and/or planting to screen views of parked cars.

f) *RESIDENTIAL FRONT YARD LANDSCAPING*

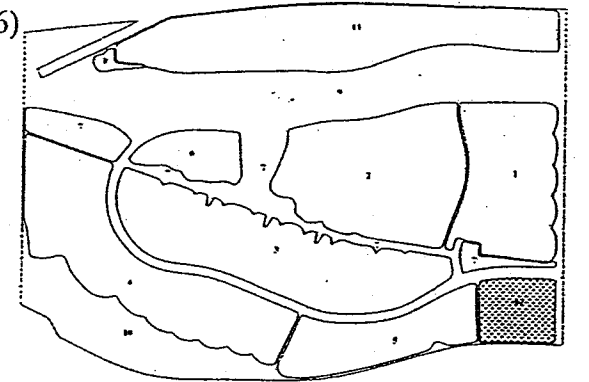
Seeded or sodded turf and an automatic irrigation system shall be installed by the builder/developer in the front yard of each residential lot. The turf and irrigation may be installed to a logical stopping point from the curb face to the front of the house and side yards. The turf may be held back 4 to 8 feet from the edge of the house and from the side yard property lines to allow for future homeowner to incorporate their own individual preferences such as shrubs and ground cover. Exhibits III-39 through III-41 illustrate a conceptual front yard landscape concept for each of the residential categories. Slopes in excess of 3:1 and 5 feet in height will be planted with ground cover. Low slopes may be graded to a less than 3:1 gradient and planted with turf. A five gallon size tree will be planted in the front yards of each residential lot. The trees may match the street tree planted in the right-of-way and located in proximity to said street trees in order to create a grove effect.

Neighborhood Commercial Conceptual Landscape Plan



- Pedestrian Crosswalk
- Meandering Sidewalks and Bermed Turf Parkway (Typical)
- Enhanced Paving @ Entries (Typical)
- Evergreen Screen Trees (Typical)
- Village Drive
- Landscaped Slope Buffer (See Exhibit No. III - 24)
- Area 5 Medium Density Residential
- Feature Element
- Pedestrian Plaza Area (Typical)
- Community Wall (See Exhibit No. III - 36)
- Project Boundary

- Major Community Project Entry (See Exhibit No. III - 16)
- Parking Area Shade Trees (Typical)
- Potrero Road
- 3 Rail Wood Fence - Meandering (Typical)
- Accent Trees @ Entries and Feature Locations (Typical)
- Small Flowering Accent Trees (Typical)
- Street Trees (Random Spacing) (Typical)
- Evergreen Background Grove Trees With Deciduous Accent Trees (Typical)
- Service Access
- On Ramp
- Off Ramp



Key Map



Not to Scale

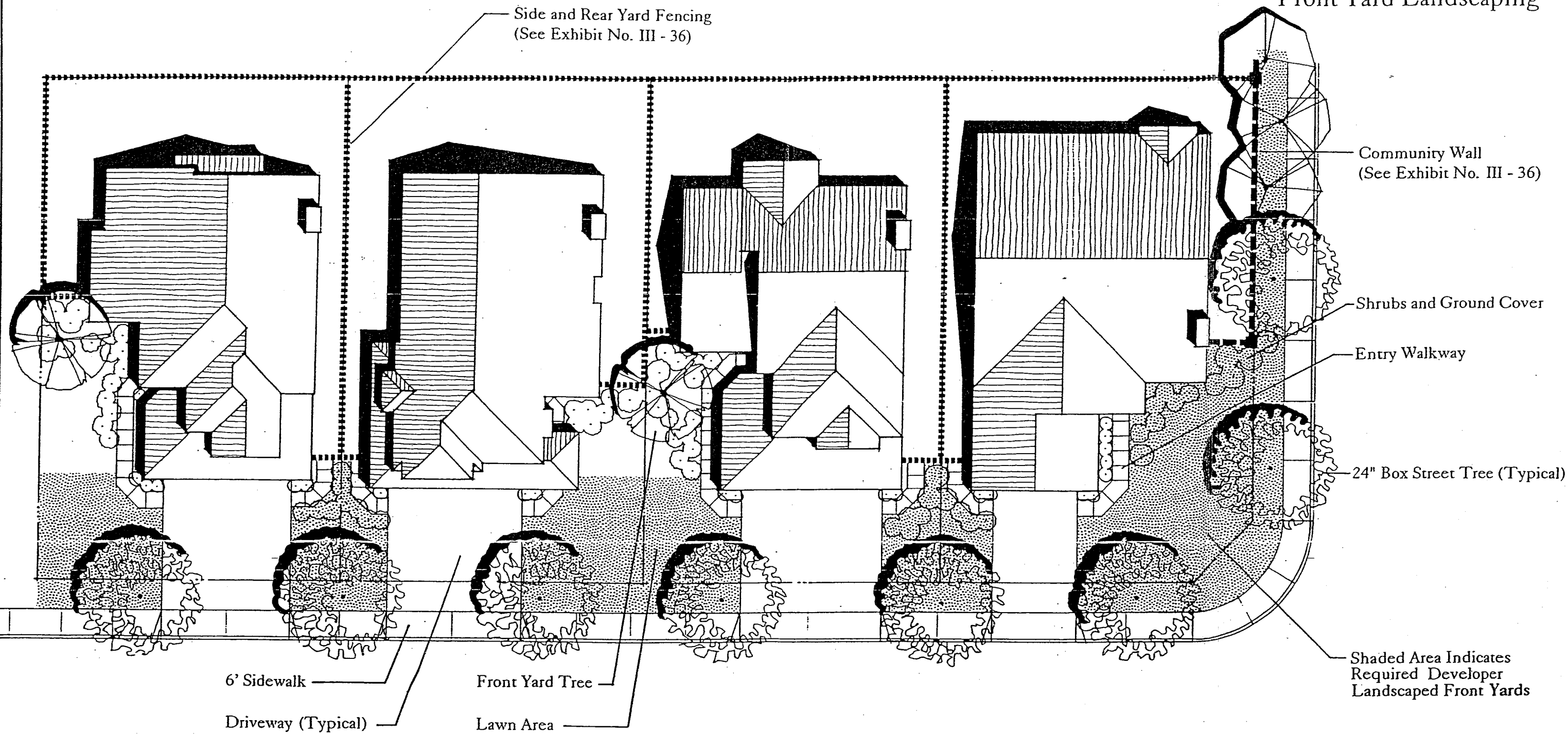
Heartland Specific Plan Beaumont, California

State Route 60

H E A R T L A N D

Exhibit No.: III - 38

Conventional Medium Lot
Front Yard Landscaping

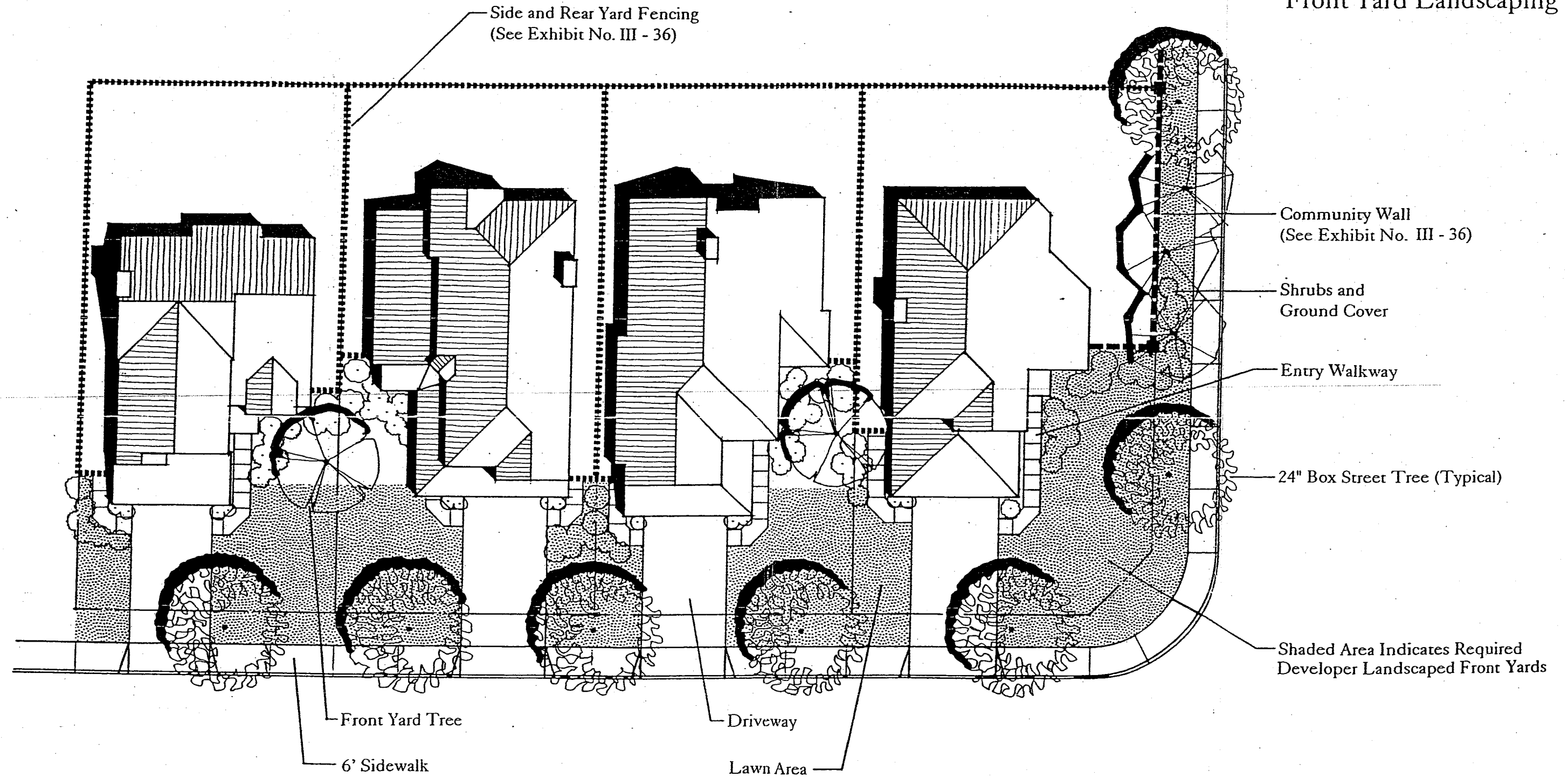


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H E A R T L A N D

Exhibit No.: III - 39

Conventional Small Lot
Front Yard Landscaping

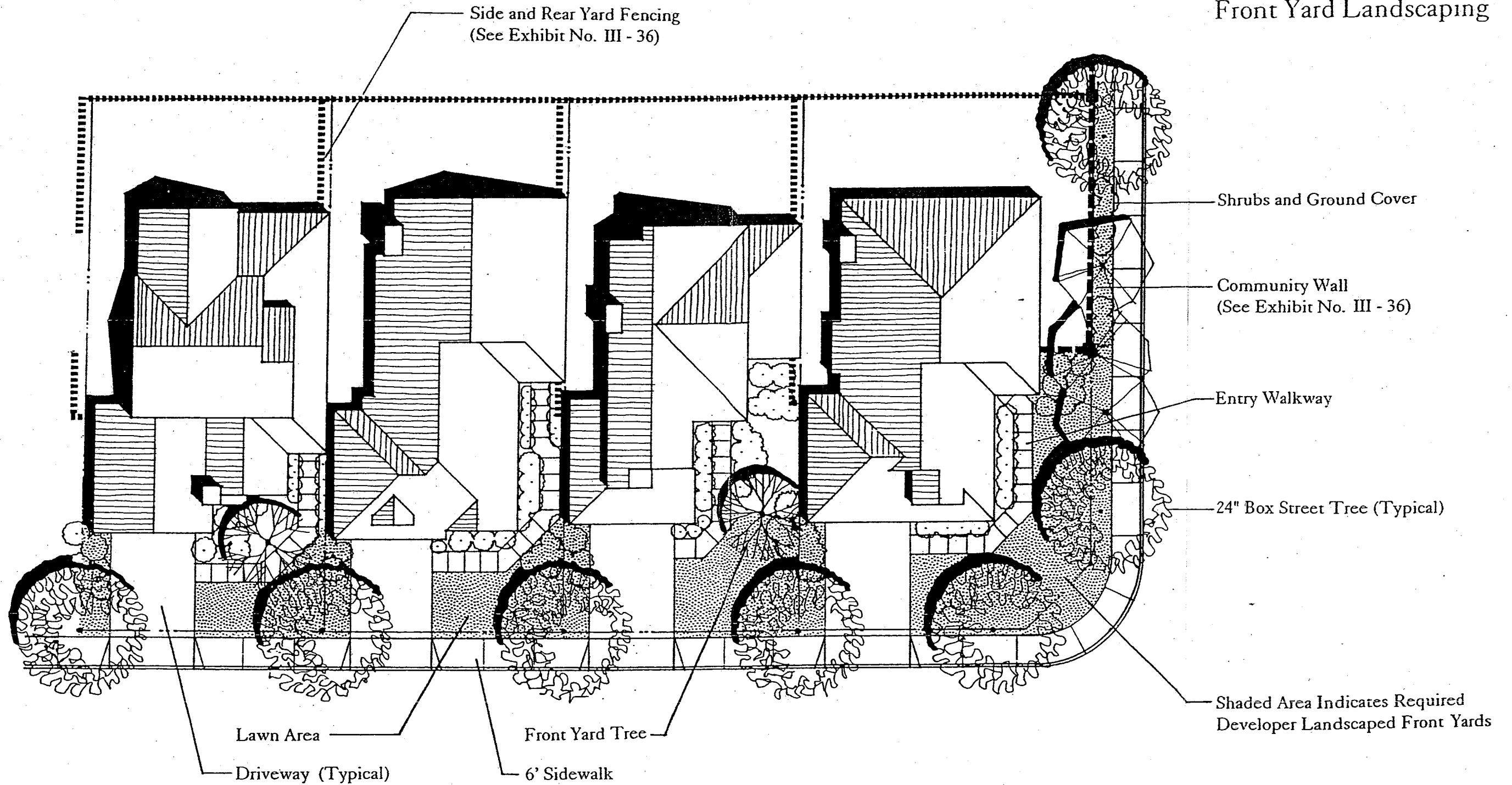


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H E A R T L A N D

Exhibit No.: III - 40

Zero Lot Line
Front Yard Landscaping



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H E A R T L A N D

Exhibit No.: III - 41

Alternatively, the trees may contrast with the street tree, and as such form a backdrop effect. As discussed in the preceding section, Community Walls and Fences, a community wall will be utilized along side yards at corners.

2. LANDSCAPE PLAN STANDARDS

1. All required landscaped areas will be planted with turf, ground cover, shrub or tree materials selected from the plant palette set forth in these guidelines. Planting on slopes will take place upon completion of grading. Depending of the time of year, a rapid, short-term ground cover may be incorporated along with the long term cover to provide immediate erosion control. Because of climate extremes that exist in the Beaumont area, it may be necessary to delay planting the long-term cover until more favorable weather permits. This precaution will be taken to insure the acclimation and survival of new material. All material will be chosen and planted for its suitability to existing soil and climatic conditions.
2. All landscape areas will be irrigated with a permanent, underground irrigation system. All shrub, slope and turf areas will be watered separately in a manner to insure proper coverage within and between areas.
3. All irrigation equipment, design and installation will take into account the climate extremes of Beaumont as well as the safety of the residents. Equipment will be chosen that can stand up to the temperature extremes as well as provide ample coverage when it is required. All equipment such as backflow prevention devices and controllers will be located to prevent a safety hazard and placed or screened with plant material from minimum public visibility. Where irrigation heads occur along hardscape surfaces, pop-up heads will be used.
4. Layers of plant material are to be used to soften building masses and to integrate the landscape with the architectural forms.
5. Landscaping plans shall reflect water conservation methods including but not limited to: drip irrigation and other methods of irrigation efficiency; use of drought tolerant native plant materials; and, extensive use of mulches and other soil improvements.
6. The materials on the plant lists shown as Appendix "A" have been selected for their contribution to the project theme, their adaptability to climatic and soil conditions, and with a concern for long-term cost effective maintenance.
7. All areas required to be landscaped shall be planted with trees, shrubs, ground cover, vines, or turf or other approved species as selected from the suggested plant list contained in this Specific Plan.

M. SPECIFIC PLAN: Design Guidelines

PURPOSE AND INTENT

The Design Guidelines for the Heartland Specific Plan have been developed as a method of achieving a high quality, cohesive design character for the development of the Heartland community in Beaumont.

The purpose of the guidelines is to implement the project design concepts of the Heartland Specific Plan. The intention is to provide specific design criteria for the development of planning areas within the project, as well as encourage creativity, imagination and a high level of harmony and consistency within the community. Adherence to the Design Guidelines will create a desirable living environment and enhance the community's overall value.

These guidelines will provide a basis for evaluating the design consistency of projects within the Heartland Specific Plan and act as an instrument for the following:

- To provide the City of Beaumont with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed;
- To provide guidance to developers, builders, engineers, architects, landscape architects and other professionals in order to maintain the desired design quality;
- To provide guidance to City staff, the Planning Commission and the City Council in the review of future development projects in the Specific Plan area;
- To provide guidance in the formulation of Covenants, Conditions and Restrictions for the use of land in the Specific Plan area;
- To provide guidance in the formulation of concise development guidelines for the various planning areas within the Specific Plan boundaries.

The approach taken in the Design Concept of Heartland is one which encourages project developers to establish a residential environment with sufficient identity and architectural character to instill a unique "sense of place" that will distinguish Heartland as a quality residential community.

The Design Guidelines are not intended to limit design possibilities, but rather to allow flexibility and freedom of expression and are therefore illustrative in nature, offering a typical visual expression of potential

character and appropriate design response. Over time, they can therefore, respond to unanticipated conditions, such as changes in lifestyles, buyer's taste, economic conditions, community desires and the marketplace.

ARCHITECTURAL GUIDELINES

The purpose of this section is to establish the architectural character for Heartland and set a framework of quality standards within which the individual developer/designer will be afforded the greatest possible opportunity for creativity and innovation. Rather than imposing an architectural style on the project, it is the intent of these guidelines that the architecture of Heartland be of appropriate design character for the California intermediate valley climate region.

The basic vocabulary for an appropriate architecture in this region would consist of substantial monolithic forms, deep-set openings, stucco and masonry walls, pitched tile roofs and light - subdued earthtone colors.

The main objective is to encourage quality architectural design, while permitting the developer/builder flexibility to design a residential neighborhood, neighborhood commercial center and industrial park with its own unique identity and design integrity.

Specific architectural objectives are:

- To provide a variety of housing opportunities and lifestyles to the consumer, within a range of economic levels.
- To create a unified environment through cohesive relationships between architecture, landscape and site planning.
- To create architecture that expresses a strong relationship to the outdoor environment.
- To develop an appropriate residential scale for a traditional Southern California neighborhood.
- To establish a unifying theme which would give a strong identity to the community.
- To select neighborhood styles or sub-styles which encourage variation of materials, colors and architectural detail.
- To create a high quality neighborhood commercial center and industrial park which is thoughtfully planned and compatible with surrounding neighborhoods and the local environment.

- To reduce any negative visual impact of large scale commercial buildings by encouraging tasteful and imaginative designs for individual buildings.

1. SINGLE FAMILY RESIDENTIAL DESIGN CRITERIA

Because the majority of the project will consist of single family residences in the medium density range, there is an opportunity to create both visual unity and diversity through control of basic building forms, massing, color and materials. Each residential project planning area should convey its own blend of building formats and styles. Variety and creativity are particularly encouraged.

The following requirements and standards shall apply to all single family detached dwelling units:

a) *BUILDING FORM, MASS AND SCALE*

The architectural image and identity of the Heartland community will primarily be perceived from public spaces such as streets, parks and other open space areas. Building form, massing and scale are therefore primary design components which require careful articulation in their architectural expression to these public spaces. The visible side and rear elevations of residential units are important, depending upon the location and orientation of the home. Consideration should be given to the articulation of rear and side elevations viewed from public spaces by providing variations in roof forms. Interesting building form and massing should be achieved without superficial design elements.

Appropriate

- Articulation of wall planes to create shadow relief and visual interest.
- Simple monolithic building forms conveying an impression of solidity and permanence.
- Projections and recesses to provide shadow and depth.
- Raised banding and relief at eaves, openings and chimneys.

Inappropriate

- Large expanse of plain, straight wall planes, not otherwise articulated by form, fenestration or materials.

b) *BUILDING HEIGHTS AND SETBACKS*

Building height and setback requirements shall conform to the City of Beaumont Land Use Ordinance, the Development Standards as set forth in the Specific Plan and these Guidelines.

In order to avoid monotonous street scenes in residential planning areas, repetitive floor plans should be alternately reversed and their roof expressions varied. Single family residences should maintain low plate lines and profiles along street fronts and boundary edges. Front yard setbacks shall be a minimum of 20 feet as measured from the street right-of-way and should be staggered. Garages should be located in such a way so as to maximize the front yard area. Garages should be single-story when set in front and should provide second-story setbacks to reduce the apparent mass and provide a human scale at pedestrian walks. To soften the architectural edge at area boundaries, building heights shall maintain a low profile through a combination of one and two story elements and varied floor setbacks at second-stories. Single story residences should be located on corner lots. To lower the apparent height, second-story rooms may be tucked into roof planes and roofs may be clipped at the sides and corners of the buildings.

Appropriate

- Variation in plate height, greater than 8 foot plate height.
- Variation in ridge line height and alignment.
- Symmetrical or asymmetrical plans as appropriate to architectural styles.
- Floor plans arranged to provide usable private exterior spaces such as patios, atriums and recessed entries.

c) *ROOF FORMS AND MATERIALS*

Roof forms are a highly visible community feature. A range of roof forms and pitches should be utilized to add an appealing visual impact to the community/streetscape. Simple pitched gable, hip or shed roof forms will be the predominant roof elements in Heartland. Roof projections and overhangs are encouraged as response to energy and climate concerns. Low maintenance details limiting the amount of exposed wood are encouraged. All pitched roofs shall be tile or equivalent. All flat roof areas, when utilized, shall require a gravel surface of earthtone color or similar uniform coverage treatment.

Appropriate

- Roof Materials: Clay barrel or "s" tile, integral color concrete "s" or shake tile and slate.
- Simple pitched gable, hip and shed roof forms or combination thereof.
- Pitched roof material palette should contain more than one color to achieve a variegated appearance.
- Small areas of flat roofs with parapets are allowed up to 20 percent of the total roof area.
- Roof pitches as appropriate to the architectural style, but in no case less than 4:12.
- Variation in ridge line height and alignment.
- Varying plate heights.
- Simple fascia detailing.

Inappropriate

- Mansard, gambrel and "period" style roof forms.
- Non-continuous roof parapets.
- Flat roofs in excess of 20 percent of the total roof area.
- Wood shake and composition shingle.
- Brightly colored glazed tile.

d) EXTERIOR MATERIALS AND COLOR

Exterior building materials shall be of natural materials which are compatible with and reflect the elements of the surrounding environment. This includes wood, masonry, stone, concrete and stucco. Exposed wood sheathing shall be limited to the underside of roofs or patio decks. The simple use of tile, brick, stone, masonry or pre-cast concrete are permitted as design accents and trim. Exterior stucco shall be utilized as the primary wall material and shall have a smooth, sand or other light finish texture.

Color is intended as a primary theme element. The value should generally be light earthtones, with darker or lighter accents to highlight the character of the structure; particularly in respect to balcony railings, fascias, awnings, inlaid tile bands and cornice bands. Complementary accent materials and colors are allowed and encouraged. All accents must relate to the architectural form and character of the building. Wood trim shall be stained with semi-transparent stain or painted as accents.

Appropriate

- Predominantly exterior stucco and masonry as primary wall materials.
- Minimal use of wood except as trim or accent material.

- Smooth-textured stucco, may have uneven surface to recall hand-worked appearance.
- Where timber is utilized, it should be substantial in proportion and appearance.
- Where architectural materials, such as masonry or stone, are applied to a facade, those materials shall be applied to the side elevations where visually prominent, and wrap around corners by a minimum of 4 feet.
- Materials changes may be utilized to visually break up second-story elevations.
- Apply architectural treatments to all elevations, especially where prominently visible, as at street corners.
- Light earthtone colors on primary wall surfaces.
- Contrasting trim colors.
- Limited use of selected accent colors which complement the designated color scheme.

Inappropriate

- Heavy textured stucco, such as Spanish lace, swirl or heavy trowel.
- Vinyl, metal or aluminum siding.
- Rustic materials utilized as primary wall surfaces and dark earthtone colors.
- Over application of bright accents or trim colors.

e) *WINDOWS AND DOORS*

Detailed and recessed door, window and wall openings are characteristic of the intended architectural style of Heartland, and should convey the appearance of thick, well-founded walls. Fully recessed openings are encouraged. Design treatment and architectural features such as pediments, small roofs, overhangs and projections to recess windows and doors are appropriate. Projecting windows may be used to add articulation to wall surfaces.

Particular attention must be given to the shading of windows, especially those with a western exposure. Exterior and interior shading devices and solar screens are encouraged. All windows shall be double insulated to reduce solar heat gains and losses.

Appropriate

- Divided window lites to reduce the scale of large windows and provide visual interest. (encouraged)
- Deep recessed openings conveying an impression of thick walls and creating strong shadows.
- Rectangular and arched openings.

- Character, greenhouse and bay windows.
- Color accented window frames and mullions.
- Clerestory and transom windows.
- Window balconies, dormer windows and roof windows.
- Decorative wood and glass panel doors with sidelights.
- French doors.
- Decorative brass or anodized hardware.

Inappropriate

- Plain exterior doors where visually prominent.
- Exclusive use of conventional aluminum frame windows without architectural treatment, such as divided lights, trim, recessed or projecting, etc.
- Reflective glass.
- Gold or silver window and door frames.
- Metal awnings.

f) *GARAGE DOORS*

Garages are a major visual element in single-family detached housing. Garage doors should be the same color (light) and incorporate the same design elements and materials as the dwelling units. Ornamentation is encouraged as it relates to the architecture and provides visual variety along the streetscape. The design treatments include color accents and architectural features such as pediments, molding, small roofs, overhangs and projections to recess the garage door.

Appropriate

- Minimum 12" recess from adjacent walls.
- Roll-up doors, wood or metal acceptable.
- If painted or stained, color should be the same as the primary wall or trim color.
- Side-in garages.

Inappropriate

- Garages without architectural treatment on side elevations.
- Corrugated metal doors.
- Bold trim and patterns.
- Bright accent colors.

g) ARCHITECTURAL FEATURES AND DETAILS

(1) Balconies and Porches

The use of balconies and porches is encouraged for both practical and aesthetic value. Balconies and porches should be integrated into the building form to articulate and break up large wall masses, offset floor setbacks and add human scale to the buildings. The shade producing qualities of balconies and porches is another important consideration.

Appropriate

- Simple, clean, bold projections.
- Second-story balconies with wood balustrades.
- Solid rail-height, smooth or sand finish stucco walls to enclose porches and balconies.
- Ceramic tile accent trim.
- Painted or stained wood trim.

Inappropriate

- Wrought iron or pipe railings.
- Prefabricated metal awnings.

(2) Columns and Archways

Columns and archways incorporated as a structural or aesthetic design element shall convey a solid, durable image as expressed through bold forms. Columns and archways may be utilized as free-standing forms or as supports for porch roofs and balconies.

Appropriate

- Square or cylindrical plaster columns.
- Wood posts (6" X 6" minimum).
- Bases incorporated at bottom of columns.
- Tile accent bands on plaster columns.
- Capital and column bands.
- Free-standing plaster archways at entrance gates.

Inappropriate

- Exposed pipe columns.
- Applied rustic veneers on columns.

- Thin posts, such as 4" X 4" wood or pipe columns.

(3) *Chimneys*

Chimneys, as an architectural form, shall be simple in design, having the same material, texture and color as the building to ensure consistency of character and style. Chimney caps should repeat the fascia cornice band treatment integrating the trim colors.

Appropriate

- Simple, smooth plaster forms.
- Boldly projected from wall surfaces.
- Design feature adding articulation to walls.
- Raised plaster banding, insets, and tile accents.
- Chimney caps appropriate to architectural style.

Inappropriate

- Exposed flues.
- Rustic material veneers.
- Extravagant metal fireplace caps.
- Brightly colored caps.

(4) *Private Courtyard Walls*

Private courtyard walls are encouraged to provide privacy, security and landscape definition. Wall treatment viewed from public streets shall be slump block or stucco finish consistent in treatment with the adjacent building. Plant material should be utilized to visually soften walls. Vines and espaliered trees are especially encouraged. Refer to Landscape Guidelines for Community Walls and Fences.

Appropriate

- Smooth or sand finish plaster or stucco walls.
- 6" slump block walls.
- Accent tile banding or wood trim repeating cornice band.
- Adequate planting pockets between walls and walkways.
- Height, proportions and scale must be sympathetic to architecture of adjacent buildings.
- Use of pot shelves, low planters, recesses and niches.
- Pilasters with prominent bases and caps.
- Low garden walls which can serve as seating and flat display surfaces.

Inappropriate

- Plain walls, not otherwise articulated by form, materials or alignment.
- Materials inconsistent with the architectural style such as standard concrete block or chain link fencing.

(5) *Building Details*

- Mechanical Equipment

All air conditioning / heating equipment, soft water tanks, electric meters and gas meters should be screened from public view. Sound attenuation is encouraged. Roof mounted equipment and related duct work are prohibited on pitched roofs. Mechanical equipment located on flat roof areas is prohibited, unless screened by parapet walls as high or higher than the equipment. Exposed duct work is prohibited on flat roofs. Roof mounted mechanical equipment on flat roof areas shall not be allowed on houses located below other houses.

- Gutters and Downspouts

Gutters and downspouts and other devices for the control of roof water are important elements which may be concealed or exposed if designed and integrated as a continuous architectural feature. Exposed gutters and downspouts shall be painted to match adjacent roof, wall or trim material color.

- Flashing, Sheet Metal and Vents

All flashing, sheet metal, vent stacks and pipes shall be painted to match adjacent building surface. Painted metals shall be properly prepared and primed to ensure a durable, long lasting finish.

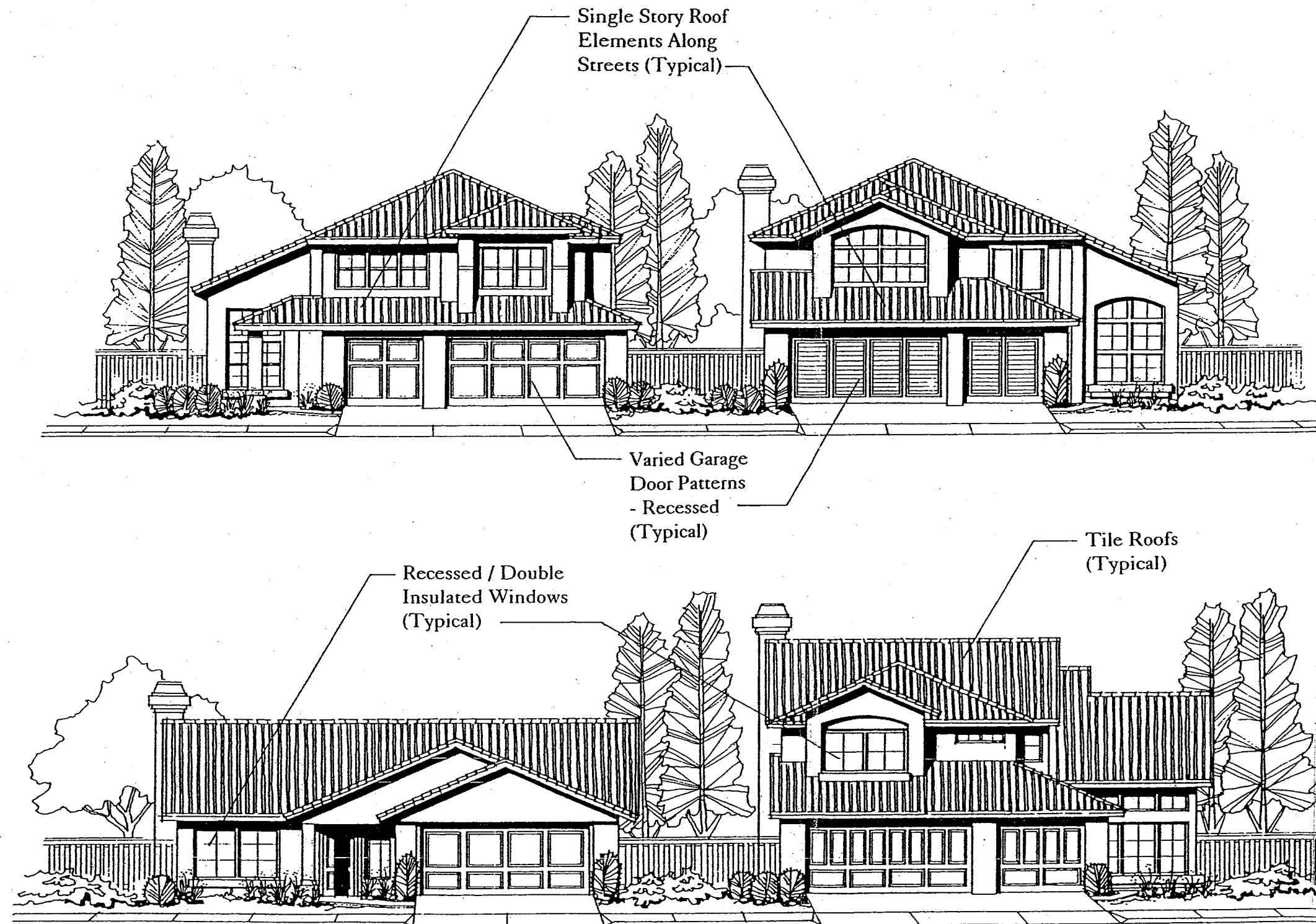
- Antennas

All antennas are restricted to the attic or interior of the residences.

- Skylights

Skylights shall be designed as an integral part of the roof. Their form, location and color should relate to the architectural character of the building. Skylights shall be double insulated glazing, clear or white.

Conventional Medium Lot Single Family Elevations

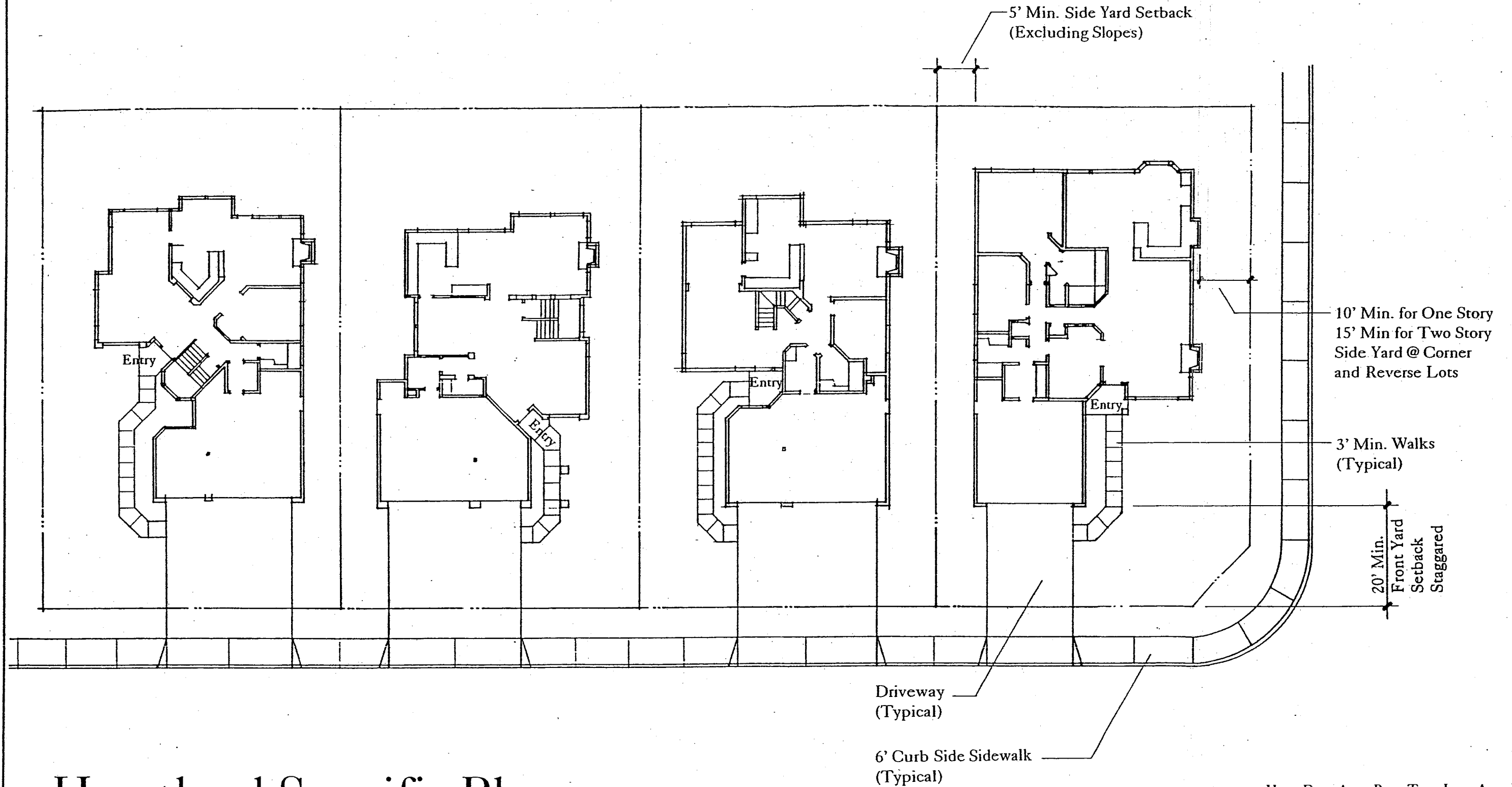


Heartland Specific Plan
Beaumont, California

H E A R T L A N D

Exhibit No.: III - 42

Medium Lot Residential
Conceptual Plans

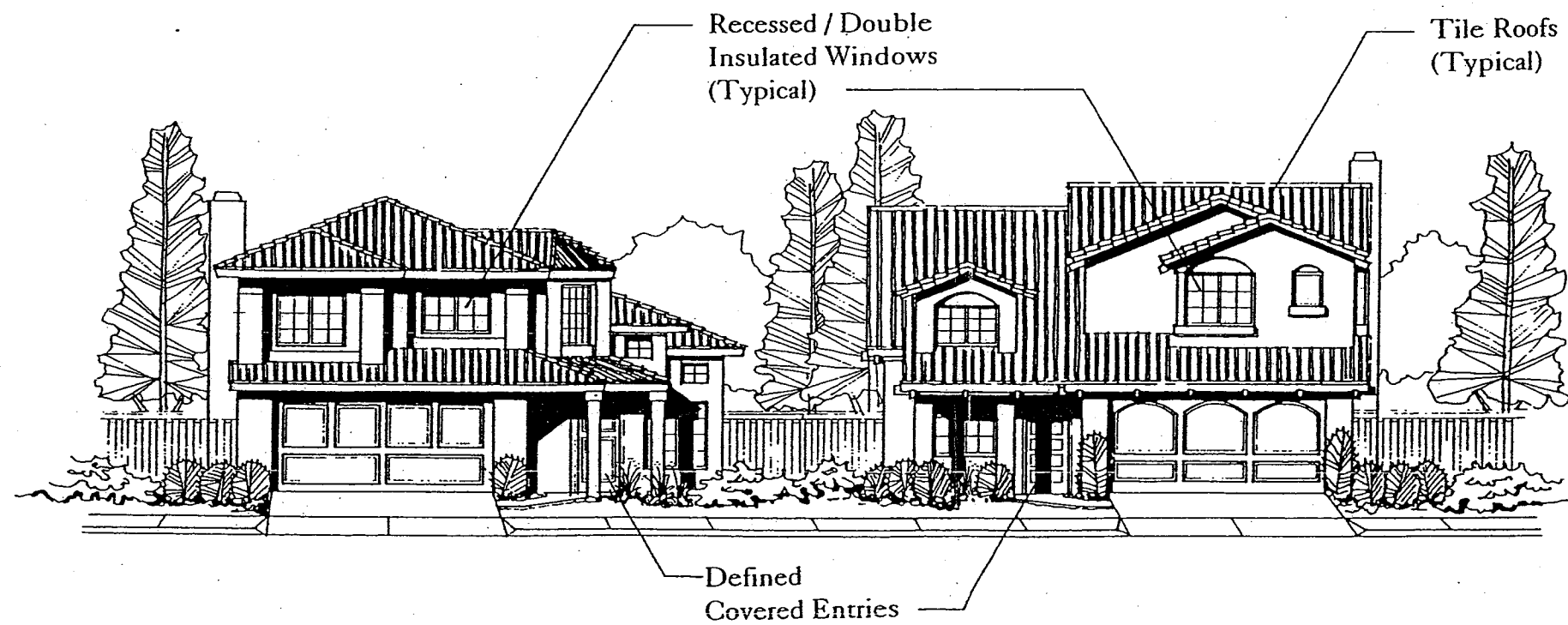
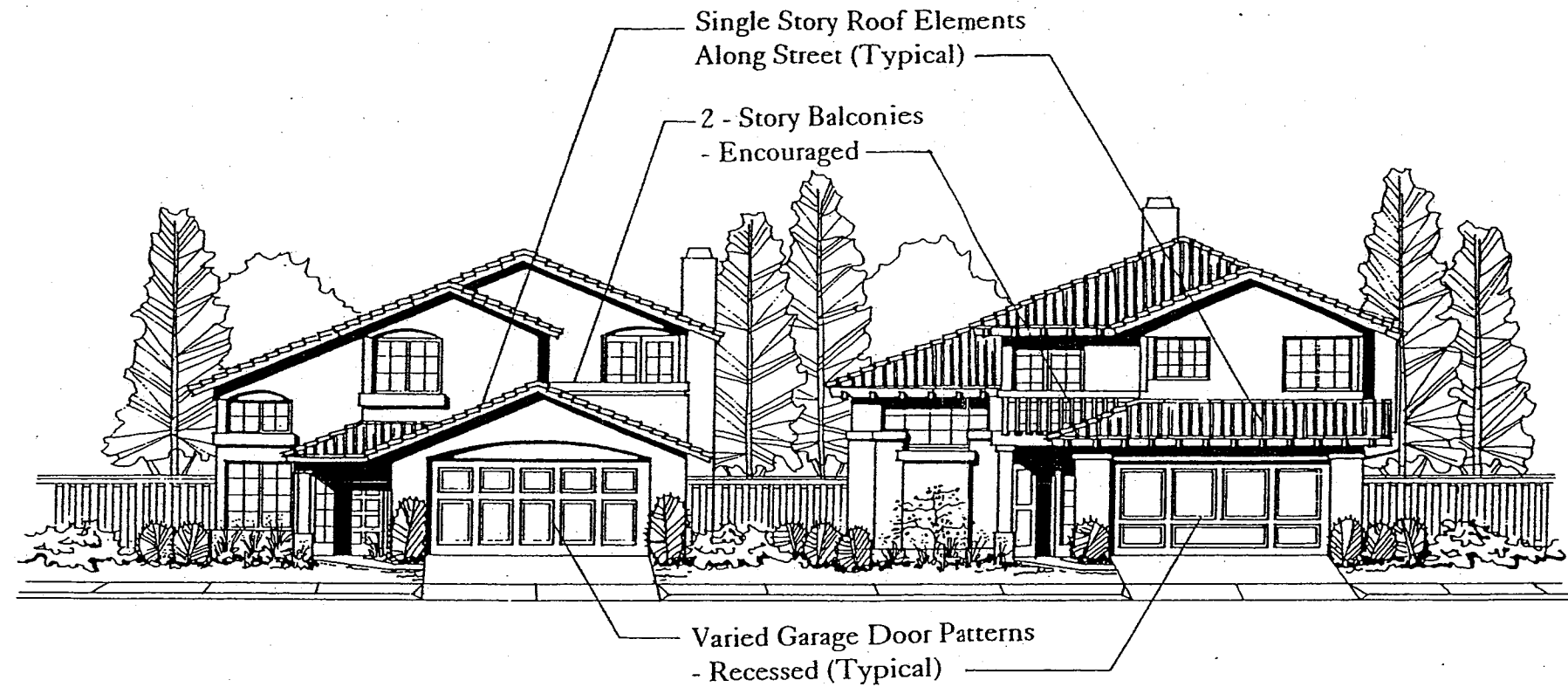


Heartland Specific Plan
Beaumont, California

H E A R T L A N D

Exhibit No.: III - 43

Conventional Small
Lot Single Family
Elevations

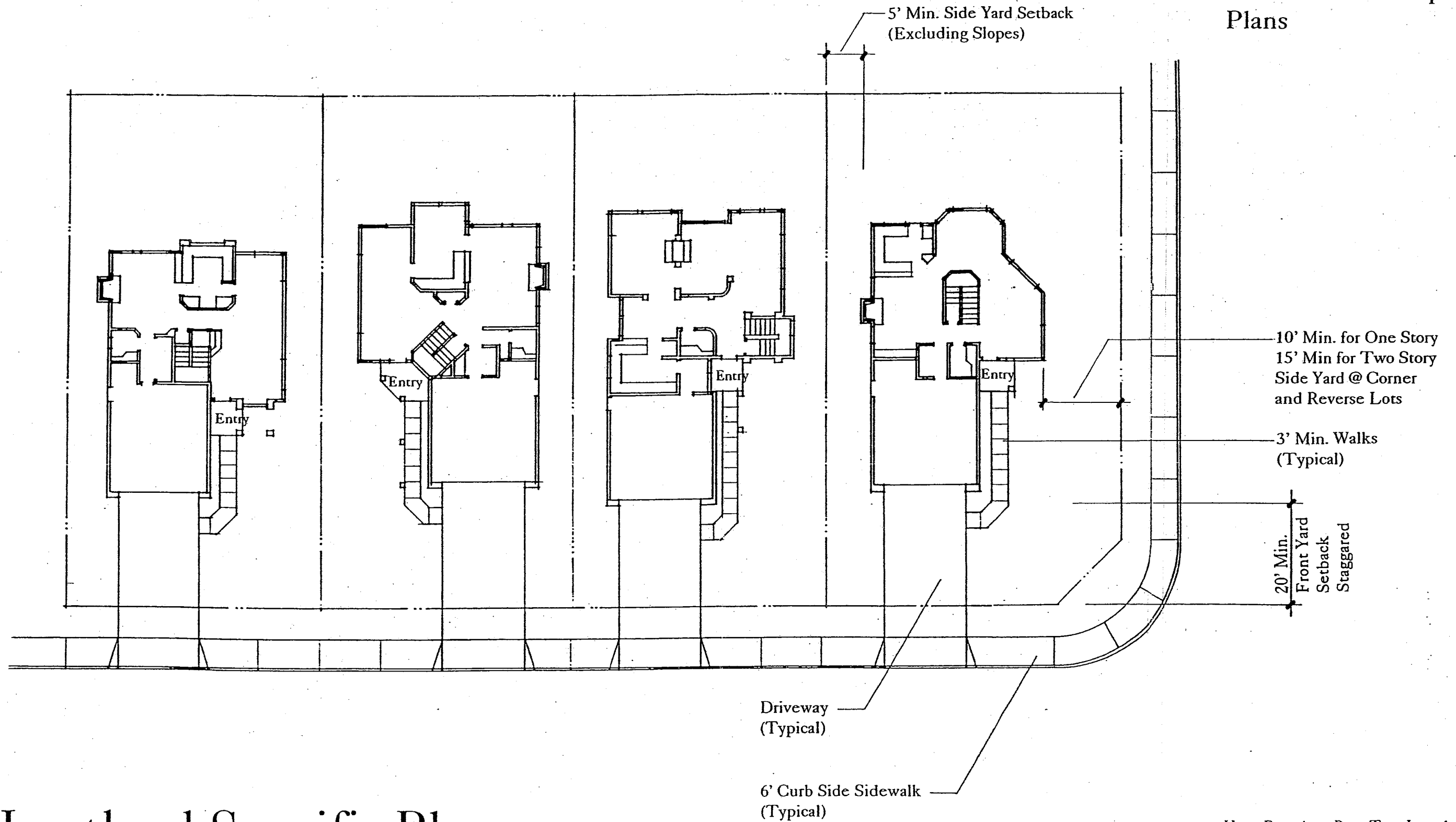


Heartland Specific Plan
Beaumont, California

H E A R T L A N D

Exhibit No.: III - 44

Conventional Small Lot Residential Conceptual Plans

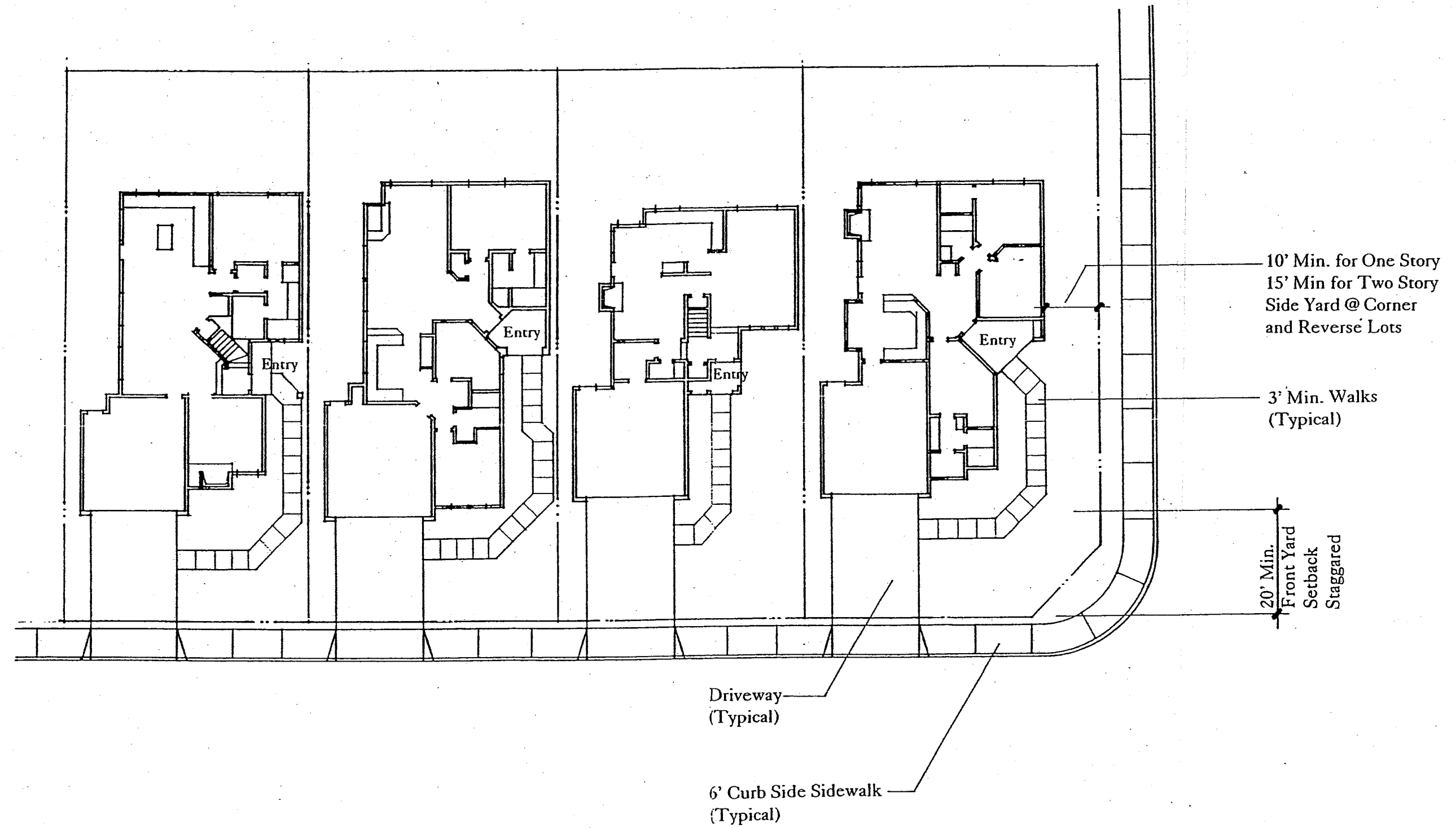


Heartland Specific Plan
Beaumont, California

H E A R T L A N D

Exhibit No.: III - 45

Zero Lot Line Residential
Conceptual Plans



Heartland Specific Plan Beaumont, California

H E A R T L A N D

Exhibit No.: III - 47

- **Solar Panels**

Solar panels shall be integrated into the roof design, flush with the roof slope and not mounted on racks. Frames must be colored to complement the roof. Mill finish aluminum frames are prohibited. Support solar equipment shall be enclosed and screened from view.

- **Accessory Structures**

Patio trellises, pergolas and other exterior structures shall be constructed of wood or stucco as permitted by governing codes, with finishes compatible with adjacent building and complying with the approved material and color palette. Trellises and patio covers of bold, clean forms are encouraged. Free standing metal storage buildings are prohibited.

2. **NEIGHBORHOOD COMMERCIAL DESIGN CRITERIA**

There is one planning area within the Heartland Specific Plan which is designated as Neighborhood Commercial. The 11.5 acre site, located at the southeast corner of the project, at the intersection of Potrero Boulevard and State Route 60, is conceived as a pedestrian oriented, neighborhood "village" center, with services and activities intended primarily for use by the local community.

The architectural design of commercial buildings in Heartland is intended to be complementary to the residential development in the community and should reflect the appropriate village or community theme.

Objectives:

- To provide the opportunity for a wide variety of uses such as food and produce markets, general retail, specialty shops, small restaurant, cafes and fast foods, medical and professional offices, community oriented activities and outdoor vendors.
- To create an attractive commercial development, compatible in scale and aesthetically complementary to adjacent residential areas.
- To integrate these various activities into a well-designed commercial center which blends into the surrounding community.

a) *SITING AND ORIENTATION*

Building siting and orientation is an important consideration in achieving a high quality, economically successful neighborhood commercial center.

Orientation of buildings should promote visual and spatial harmony within the center and the surrounding community.

Commercial buildings should vary in orientation and be clustered to create zones of similar use and activities. Major users employing larger building masses should be located away from neighborhood areas and concentrated adjacent State Route 60 for maximum visibility. Specialty shops, cafes and general retail employing smaller building masses should be located at the periphery of the site. Orienting and grouping buildings along each side of a "village drive" with perpendicular parking introduces a "Main Street" appearance which is highly desirable and encouraged.

Appropriate

- Buildings should be arranged to create and enclose a variety of outdoor spaces such as plazas, squares, eating areas and usable open spaces.
- Open areas should be large enough to be usable but not so large as to appear empty. 15 to 50 feet in width is generally appropriate.
- Site entrances and building entries should be readily identifiable and accessible to the first time visitor.
- Employing common site design elements such as lighting, signage, enhanced paving and landscape treatments to unify the site.

Inappropriate

- Shopping mall or "strip center" site planning without appropriate building articulation and landscaping.
- Massive concentration of buildings in any single area of the site, surrounded by an uninterrupted expanse of parking.

b) BUILDING FORM, MASS AND SCALE

Building massing is envisioned as a combination of one and two-story elements, with second story volumes concentrated at the center of building composites and reserved for office commercial and major supermarket or drugstore users. Random and frequent variations of building masses will reinforce a timeless quality and lend distinctiveness to particular retail users.

Buildings should have offset building planes and recessed areas of the building facade to provide relief to long elevations and to create shade and shadow patterns. Interconnection and lapping of building forms and heights to break long expanses of blank walls help relieve monotony and are encouraged. Low decorative walls and walls utilized to enclose courtyards or screen service yards provide a gradual building up of massing and help relate buildings to the landscape.

Appropriate

- Building forms should be designed to create visual interest on all sides of the structure. The architectural concept should be consistent on all sides of the building.
- Combination of one and two-story volumes.
- Two-story volumes should be stepped, sloped or grouped with one-story volumes to reduce the apparent mass to human scale.
- Entries to individual buildings and public spaces between buildings should be emphasized with highlighted massing and articulated roof forms.
- Buildings devoted to larger major tenants such as supermarkets and drugstores should be well balanced and consistent in scale and proportion with other surrounding uses.
- Individual facades should be offset or otherwise articulated by projections, recesses, angled or curved surfaces.
- Facades should be designed to provide a variety of display and viewing opportunities.
- Architectural proportions and details should be sympathetic to a residential scale.

Inappropriate

- Large-scale uninterrupted walls, not otherwise articulated by form, fenestration or materials.
- Massive building elements, such as timbers, beams, columns, etc., that are out of scale with the architectural style.
- False facades and other applied ornamentation unrelated to the rest of the building or structure.

c) *FENESTRATION*

Exterior openings in commercial buildings, such as doors, windows or arcades, should be used in repetitive patterns to create rhythm and interest. Entries and entry doors are especially important as focal points to building elevations. Doorways should be deeply recessed to create strong shadow lines and intimate entries to buildings. Architectural features and detail treatments at doors and entries are encouraged. Features and details may consist of tile accents, color accents, raised plaster molding, decorative wood moldings and pediments.

Windows should generally be recessed and designed to provide a variety of display and viewing opportunities, as opposed to continuous "storefront" glazing. Glazing should be transparent to enable pedestrians and motorists views into retail shops and other spaces.

A wide variety of storefronts may be utilized and should be designed to be compatible with the architectural character of the buildings. The use of colored storefront is preferred as opposed to natural or anodized aluminum.

Appropriate

- Building openings should be deeply recessed or provide bold projections to create shadow and visual interest.
- A wide variety of window and door treatments in elevation, compatible with the architectural character derived.
- A wide variety of display windows and merchandising windows.
- The use of divided light windows, character windows and bay windows as accents.
- The use of colored storefront and clear glazing.
- Wood frame windows and doors are discretionary due to high maintenance.

Inappropriate

- Large expanses of conventional "storefront" glazing and large plate glass windows.
- Opaque or reflective glazing.
- Natural aluminum or anodized aluminum storefronts.

d) ROOF FORM AND MATERIALS

Primary roof forms within the commercial center shall predominately consist of a combination of pitched and flat roofs with parapets. Where appropriate, generous overhangs to create strong shadow lines are encouraged. Lower shed roofs or second-story projections that offer opportunities for covered walkways, arcades, porches and trellises, are encouraged to act as unifying architectural elements throughout the commercial center.

Simple pitched roofs and sloped roof treatments for design accents are encouraged. Sloped roofs should be carried through major portions of the building and be an integral part of the building design.

Lower roof projections and overhangs are encouraged to humanize and scale down building masses and define building entrances.

The commercial center shall utilize the careful selection and balanced use of one predominant roofing material for all pitched roofs. Intermixing different roof materials should be avoided, with the exception of when in combination with flat roofs with parapets employing built-up roofing materials.

Appropriate

- Clay tile, integral color concrete tile and slate roofing.
- Standing or batten seam metal roofing.
- Built-up roofing (flat roofs only).
- Tile roof material palette should contain a mixture of tones to achieve a variegated appearance.
- Variation in ridge line height and alignment.
- Incorporation of details to add visual interest to the roofscape, such as dormers, cupolas, skylights, theme towers and stair towers.
- Variation in plate heights.
- Fascia and eave details that are sympathetic to a residential scale.

Inappropriate

- High contrast color, brightly colored glazed tile or highly reflective surfaces.
- Wood shake and composition shingles.

e) *EXTERIOR MATERIALS AND COLOR*

Materials and colors chosen for the commercial center must be appropriate and compatible with its location and expressive of the character and image of the community. The materials and colors utilized should relate directly to the motif, palette and scale of the surrounding residential development. The commercial development should express one dominant finish material, excluding roof materials and glazing. Accent materials are encouraged and when used should subtly complement the dominant materials of the buildings.

Materials include exterior plaster or stucco, masonry, concrete, stone and wood. Primary wall materials shall consist of either exterior plaster or stucco with a smooth, sand or light finish texture and/or integral color slump block. The simple use of tile, brick, stone or pre-cast concrete are permitted as design accents. Exposed wood sheathing shall be limited to the underside of roof structures, fascias and trims. Exposed wood timbers and glue-laminated timbers may be utilized provided that the minimum dimension is 6 inches.

All buildings within the commercial center should utilize light earthtone colors or natural colors of materials used. Darker or lighter accent colors are encouraged to highlight the character of the structure. Bold application of colors such as stripes, accents or super graphics is discouraged. Variations in color shall be kept to a minimum. Exposed wood sheathing and trim shall be stained with a semi-transparent stain or painted as accents.

Appropriate

- Predominantly exterior stucco and masonry as primary wall materials.
- Minimal use of wood except as trim or accent material.
- Smooth-textured stucco, may have uneven surface to recall hand-worked appearance.
- Where timber is utilized, it should be substantial in proportion and appearance.
- Apply architectural treatments to all elevations, especially where prominently visible.
- Light earthtone colors on primary wall surfaces.
- Contrasting trim colors.

Inappropriate

- Heavy textured stucco, such as Spanish lace, swirl or heavy trowel.
- Vinyl, corrugated metal or aluminum siding.
- Common plywood or masonite siding.
- Standard concrete block.
- Rustic materials utilized as primary wall surfaces and dark earthtone colors.
- Over application of bright accents or trim colors.

3. INDUSTRIAL PARK DESIGN CRITERIA

The Industrial Park planning area within the Heartland Specific Plan is situated such that it can become an independent entity unrelated to the architectural design vocabulary developed within the residential and commercial areas of the specific plan. The design theme can therefore be one that is appropriate to the warehouse, distribution, light manufacturing and/or high-tech business environment expected to occupy the site.

The architecture to be developed in each parcel of the industrial park should be a straightforward, highly contemporary expression, maintaining an individual identity, yet contribute to the integrity of the industrial park as a whole.

Objectives:

- To create a high quality industrial park which is thoughtfully planned and compatible with the local environment.
- To reduce any negative visual impact of large scale buildings by encouraging tasteful and imaginative designs for individual buildings.

- To obtain a consistency of basic architectural elements while encouraging each future property owner to explore the creative site planning and architectural possibilities of the site.

a) *SITING AND ORIENTATION*

Siting and orientation of industrial facilities is critical to the visual integrity of the industrial park. As such, each individual building project should interact with others to promote visual and spatial harmony and produce a cohesive industrial environment.

Special consideration should be given to methods that tend to reduce large scale visual impact of building masses and to balance the elements of structure, landscaping and paving. Building facades abutting streets shall not have the appearance of excessive massing or shading. Buildings clustered around pedestrian areas, such as courtyards or plazas shall be designed to minimize excessive shading and maximize natural light exposure. Facades which are two-stories or greater and oriented onto courtyards or plazas should be stepped back to minimize the appearance of excessive massing.

Appropriate

- Orientation and location of buildings to reduce the appearance of excessive massing and shading.
- Orientation, configuration and location of building masses to emphasize visual corridors.
- Individual projects should respond to traditional streetscape issues of screening parking, service and storage areas, etc.
- Building public entrances should utilize enhanced urban design elements, such as plazas, fountains, sculpture, special paving materials and spacious vehicular entrance layouts.
- Employing common site design elements such as lighting, signage, enhanced paving and landscape treatments to unify individual sites within the industrial park.

Inappropriate

- Large expanses of parking area not otherwise dispersed into convenient clusters.
- Exposed or inadequate screening of parking, services and storage areas.
- Conflicts between automobiles, service vehicles and pedestrians within individual sites.
- Excessive massing and shading of buildings.

b) *BUILDING FORM, MASS AND SCALE*

Industrial buildings within the Heartland Specific Plan shall be distinctive and contemporary in design and form. The architecture should reflect the technology of today yet maintain a timeless appearance.

Building form should create visual interest on facades fronting or facing on public streets. Consideration should be given to facades that are readily visible from residential areas to the south.

Interconnection and lapping of building forms and heights to break long expanses of blank walls help relieve monotony and are encouraged. Low decorative walls and walls utilized to enclose courtyards or screen service yards provide a gradual building up of massing and help relate buildings to the landscape.

The scale of the project should be given special consideration, particularly large industrial buildings. Large-scale uninterrupted walls must be avoided and may be visually reduced to human scale by:

- Mature landscaping/mounding.
- Wall texture placement.
- Clustering small scale elements such as planter walls around major forms.
- Creation of vertical and horizontal shadow lines.
- Fragmentation into smaller or multiple structures.
- Entry treatments.
- Stepping back corners.
- Utilizing pilasters.
- Varying roof lines.

c) *ROOF FORM AND MATERIALS*

Major roof forms within the industrial park should predominately employ flat roofs with parapet walls to create a strong sense of geometry and massing. Simple pitched roofs and sloped roof treatments for design accents are acceptable and encouraged with certain exceptions. Sloped roofs should be carried through major portions of the building and be an integral part of the building design.

Flat roofs must be given careful consideration, especially if viewed from above by adjacent buildings and surrounding hillside developments. Care should be taken that roof mounted equipment and vents are generally grouped together and screened from view or finished to match adjacent materials and/or colors to reduce their visibility.

Appropriate

- Pitched roof forms utilized for design accents.
- All pitched roof material shall be standing seam metal roofing employing subdued earthtone colors.
- Flat roofs with parapet walls as major roof form.
- Flat roof design requires a gravel surface of earthtone color, membrane material or similar uniform coverage treatment when the roof is visible from adjacent properties and surrounding developments.
- Lower roof projections and overhangs are encouraged to humanize and scale down building masses and define building entrances.

Inappropriate

- Major roof form employing pitched roofs.
- Pitched roofs materials of clay or concrete tile, composition shingles or wood shake.
- Brightly colored metal roofing.

d) *FENESTRATION*

Architecturally articulated exterior glazed openings in industrial buildings reflecting creativity and innovation are encouraged to provide a mechanism by which both individual identity and unity may be achieved.

Glazed openings should create rhythm and interest through repetitive patterns and groupings. Glazed areas may appear as transparent giving a sense of penetration to building interiors or appear as articulated areas of dark voids or opaque bandings.

Metal "storefront" should be utilized as the predominant framing material for glazed openings and doors. Storefront framing may consist of natural aluminum, anodized aluminum or baked enamel colored finished and should be complementary to the building materials employed.

Appropriate

- Highly contemporary architectural fenestration expression.
- Create rhythm and interest through repetitive patterns or bandings of glazed openings.
- Recessed building openings and architectural projections to create shadow and visual interest.
- Transparent or tinted glazing.
- Natural aluminum, anodized aluminum and colored storefronts.
- The use of exterior or interior shading devices is encouraged.
- The use of operable windows for natural ventilation is encouraged.

Inappropriate

- Highly reflective glazing and curtain walls, especially silver and gold mirrored glazing.
- Wood frame windows and doors.

e) *EXTERIOR MATERIALS AND COLORS*

Colors and materials chosen must be appropriate for the scale of the building, compatible with its location within the industrial park and expressive of the character and image of the development.

Building materials should be durable, relatively maintenance free and convey its own natural integrity, expressing permanence, substance, timelessness and restraints. For each building or building complex, one dominant finish material, excluding roof materials and glazing, should be expressed. Accent materials are encouraged and when used should subtly compliment the dominant material of the building.

Building technologies using wood, steel, masonry, lift-slab, pre-cast and pour-in-place concrete may all be used.

Exterior plaster or stucco, masonry, concrete and pre-cast paneling may all be employed as exterior surface finish materials.

- Plaster or stucco textures shall be limited to machine spraying and light hand trowel finishes. Heavily textured plaster finishes will not be allowed.
- Masonry units shall be limited to brick veneers, split face concrete block or fluted concrete block. Standard concrete block shall not be used as a finish material.
- Concrete should be natural color or may have a moderate integral color. Large exposed surfaces shall be textured forms, sandblasted or have integral detailing. Smooth concrete shall be restricted to accents, reveals, bandings and columns.

All buildings throughout the industrial park should use warm earthtones or natural colors of materials being used. Use of bright colors or black should be limited to building accents and signifying points of entry. Bold application of colors such as stripes, accents or super graphics is discouraged.

Variations in color shall be kept to a minimum. Colors shall be confined to earthtones of a soft and subtle nature such as: Off-white, warm grays, putty, tan, beige, cream, light brown, etc. Accent colors may be darker or lighter tones; however, primary colors are discouraged.

Special individual corporate colors other than those listed may be approved only when utilized in signage and logos.

Appropriate

- Exterior finish materials of plaster or stucco, masonry, concrete or pre-cast paneling.
- Earthtone colors on primary wall surfaces.
- Architectural treatments shall apply to all building elevations.

Inappropriate

- Unacceptable materials include corrugated metal siding, standard concrete block, wood siding, common plywood sheeting, masonite, aluminum and rustic materials used as primary wall surfaces.
- Use of bold application of colors such as stripes, super graphics, etc.
- Permanent buildings of mobile or modular construction are prohibited.

f) *COMMERCIAL AND INDUSTRIAL GENERAL DESIGN CRITERIA*

The following design criteria shall apply to all commercial and industrial development within the Heartland Specific Plan.

(1) *Pedestrian Circulation*

On-site pedestrian walkways should be fully integrated with the internal site vehicular circulation system to allow safe and convenient pedestrian access through parking areas and from perimeter street sidewalks to building entrances.

Ample pedestrian walkways should be provided throughout automobile parking areas with special consideration given toward walkway landscaping, lighting and amenities. Pedestrian walks that cross parking aisles and driveways should be emphasized by a contrasting paving material with an exception of service areas and truck access drives.

(2) *Parking and Circulation*

Parking space requirements and parking design layouts within the commercial center and industrial park shall provide sufficient off-street parking and loading spaces to adequately meet the demand, as well as ensure safe, easily maintained off-street parking facilities. Off-street parking standards and requirements shall conform to the City of Beaumont Land Use Ordinance and the following:

Vehicle Signs

Signs on or affixed to trucks, automobiles, trailers or other vehicles which advertise, identify, or provide directions to a use or activity not related to its lawful making of deliveries of sales or merchandise or rendering of services from such vehicles are prohibited.

Special Displays

External displays, other than temporary decorative holiday lighting, which consist of unshielded light bulbs and open, exposed neon or gaseous light tubing are prohibited. An exception hereto may be granted when the display is an integral part of the design character of the activity to which it is related.

Displays

Flags, banners or pennants, etc., which may constitute an architectural feature and which are an integral part of the design character of a project may be permitted subject to architectural review and City approval.

Utility Proximity Lines

Signs which have less clearance from authorized communication or electrical power lines than that prescribed by the laws of the State of California are prohibited.

Freestanding, Pylon (Pole) and Roof Signs

Any sign mounted on freestanding, pylons, pipe columns or wood posts, etc., other than traffic signs are prohibited. Roof mounted signs are prohibited.

(f) Design Review

All exterior signage shall be submitted to the City of Beaumont for approval prior to any fabrication and erection of such signage. Signage design submittals shall include:

- Site plan showing every sign proposed for the building project including identification signs, directional signs, traffic control signs, etc.
- Colored elevation of each sign indicating overall sign dimensions, text, copy size and supporting elements.
- Building elevations indicating the location and mounting heights of all signage and graphics.
- Colors and materials (sample board).
- Proposed lighting (if any).

IV. Planning and Development Standards

Development standards for the Heartland community have been established at two levels: (1) standards that apply universally to the overall project as set forth in Sections 3 and 5, and (2) those standards that apply specifically to the individual planning areas and further reinforce the overall project standards.

As previously discussed, the size, location and configuration of the individual planning areas were determined on the basis of a variety of design considerations including topography, drainage, circulation, and other physical features and land use determinants, along with a consideration of the relationship of the planning area to adjoining and surrounding land uses.

This section of the text provides a description of each individual planning area comprising the Heartland Specific Plan. The description of each planning area will be followed by a list of design features/standards anticipated for the particular planning area. The design feature/standards discussion will be followed by a planning area exhibit detailing the above-mentioned information in terms of development density, access, roadway landscape treatments, monumentation, buffer/edge treatments, adjacent land uses and other planning regulations and criteria as appropriate. This section of the text also references the development regulations and the supporting graphics from Section 3, Specific Plan, and Section 5, Development Regulations, so that a clear picture of the nature and character of each planning area and its land use emerges.

A. *Planning Area No. 1*

1. DESCRIPTIVE SUMMARY

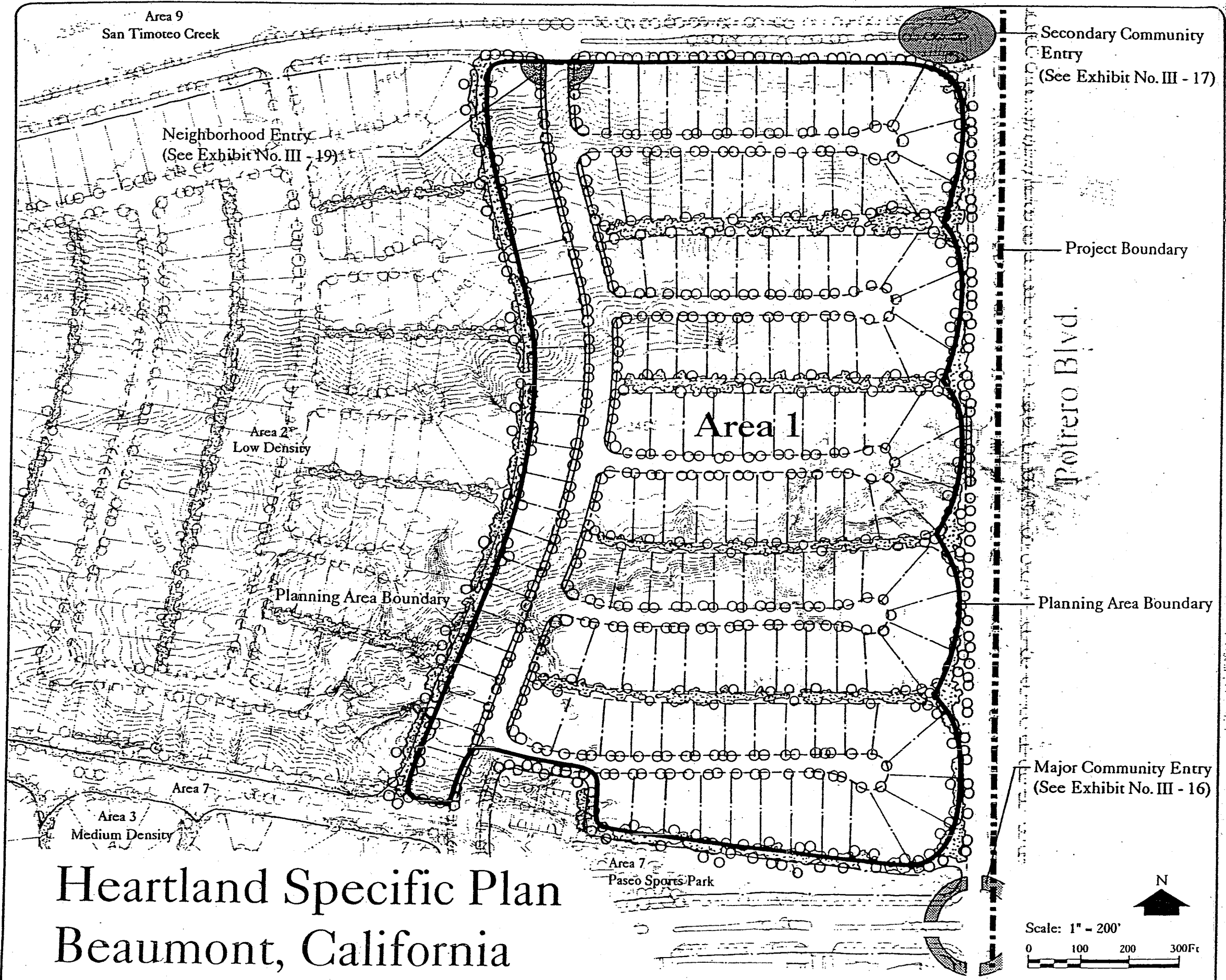
Planning Area No. 1 is proposed for low density single family detached housing. Planning Area No. 1 is located entirely within the first phase, per Heartland's Phase Plan. A maximum of 166 dwelling units are planned on 33.2 acres, density transfers notwithstanding, yielding an average density of 5 dwelling units per acre.

2. PLANNING AREA STANDARDS

- Access to Planning Area No. 1 will be achieved by way of Heartland's collector street as depicted by Exhibit III-3 (Circulation Plan) and Exhibit

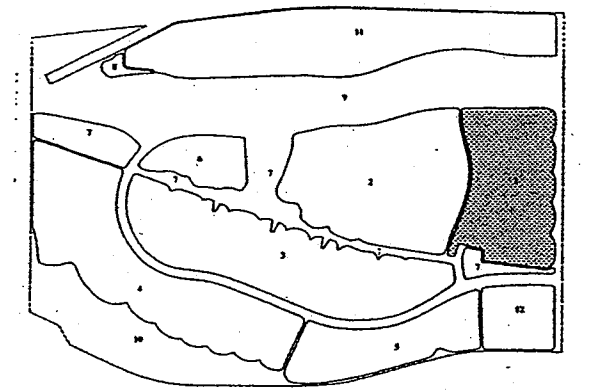
IV-1 (Planning Area 1), Planning Area No. 1 will be provided with one point of ingress/egress for each 83 dwelling units.

- A parkway landscape treatment will be incorporated into the design of Heartland's Collector Loop Road as illustrated by Exhibit III-16.
- A parkway landscape treatment will be incorporated into the design of Potrero Boulevard as illustrated by Exhibit III-22.
- The design and grading of the cul-de-sacs adjoining Potrero Boulevard will depict a "scalped" configuration in order to undulate and vary the parkway landscape treatment for Potrero Boulevard.
- A primary community entry shall be applied at southern intersection of Heartland's loop road with Potrero Boulevard and a secondary community entry will be applied at Heartland's Collector Loop Road's northern intersection with Potrero Boulevard.
- A neighborhood entry statement shall be applied at one of the two market entries into Planning Area No. 1.
- Planning Area No. 1 shall participate in the paseo sports park improvement fee program as outlined in Section 3 Specific Plan Standards (Recreation Plan and Standards).
- Planning Area No. 1 shall be developed in accordance with the single family detached development regulations and standards pursuant to Section 5, Regulations and Development Standards.
- The ultimate developers of Planning Area No. 1 shall participate in a cooperative school impacts mitigation agreement, which may include the payment of fees and/or dedicating land in lieu of or in combination of fees, prior to tract recordation, with the Beaumont Unified School District pursuant to Section 3, Specific Plan Standards (Public Facilities Plan).
- Please refer to Section 3 of this text for additional Specific Plan standards that apply to this planning area.
- Lots within Planning Area No. 1 backing up to Potrero Boulevard and Heartland's Collector Loop Road will incorporate community theme walls for noise attenuation purposes pursuant to the noise impacts section of the EIR prepared in conjunction with the Heartland Specific Plan document.



Heartland Specific Plan Beaumont, California

Planning Area 1



Area: 33.2 Ac.
Density: Low 3.1 - 5.0 Du./Ac.
Max. Dwelling Units: 166

H E A R T L A N D

Exhibit No.: IV - 1

Prepared by Tandy Graphic

B. Planning Area No. 2

1. DESCRIPTIVE SUMMARY

Planning Area No. 2 is proposed for low density single family detached housing. Planning Area No. 2 is located entirely within the second phase per Heartland's Phasing Plan. A maximum of 248 dwelling units are planned on 49.6 acres, density transfers notwithstanding, yielding an average density of 5 dwelling units per acre, see Exhibit IV-2 (Planning Area 2).

2. PLANNING AREA STANDARDS

- Access to Planning Area No. 2 will be achieved by way of three neighborhood entries emanating from the Heartland Collector Loop Road, as illustrated by Exhibit IV-2 (Planning Area 2). The three access points will yield a ratio of one access point for each 83 dwelling units.
- An expanded parkway landscape treatment will be incorporated along Heartland's Collector Loop Road as illustrated by Exhibit III-27.
- The design and grading of the cul-de-sac lots backing up to the paseo sports park shall exhibit a "scaloped" configuration in order to provide an undulated and varied appearance. This approach will also maximize the area dedicated to active park improvements and prevent an elongated narrow corridor appearance.
- Neighborhood entry statements shall be applied to the three (3) points of ingress/egress emanating from Heartland's Collector Loop Road.
- Planning Area No. 2 shall participate in the paseo sports park improvement fee program as outlined in Section 3, Specific Plan (Recreation Plan and Standards).
- The ultimate developer(s) of Planning Area No. 2 shall participate in a cooperative school impact mitigation agreement, which may include the payment of fees and/or dedication of land in lieu or in combination of fees, prior to tract recordation, with the Beaumont Unified School District pursuant to Section 3, Specific Plan Standards (Public Facilities Plan).
- A landscaped slope buffer/transition treatment, as depicted by Exhibit III-24, shall be applied to the rear of lots within Planning Area No. 2 which interface with the paseo sports park area.
- Planning Area No. 2 shall be developed in accordance with the single family detached development regulations and standards pursuant to Section 5, Regulations and Development Standards.

San Timoteo Creek

Planning Area Boundary

Neighborhood Entry
(See Exhibit No. III - 19)

Area 7
Pasco Sports Park

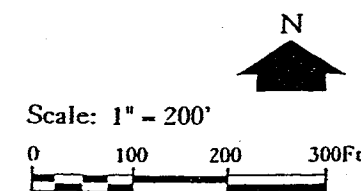
Area 2

Area 4
Low Density

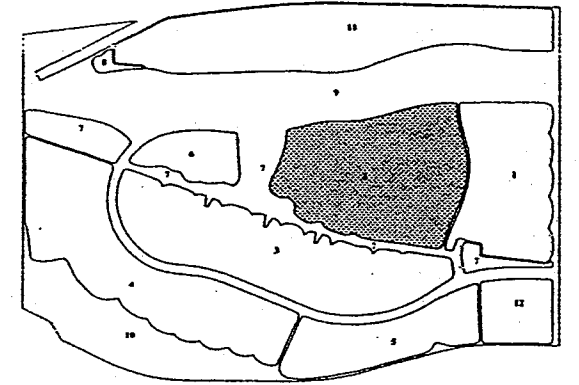
Area 3
Medium Density

Area 7

Heartland Specific Plan Beaumont, California



Planning Area 2



Area: 49.6 Ac.
Density: Low 3.1 - 5.0 Du./Ac.
Max. Dwelling Units: 248

H E A R T L A N D

Exhibit No.: IV - 2

Prepared by Tordly Graphic

- Please refer to Section 3 of this text for additional Specific Plan standards that apply to this planning area.
- Lots within Planning Area No. 2 located adjacent to Heartland's Collector Loop Road will incorporate community theme walls for noise attenuation purposes pursuant to the noise impacts section of the EIR prepared in conjunction with the Heartland Specific Plan document.

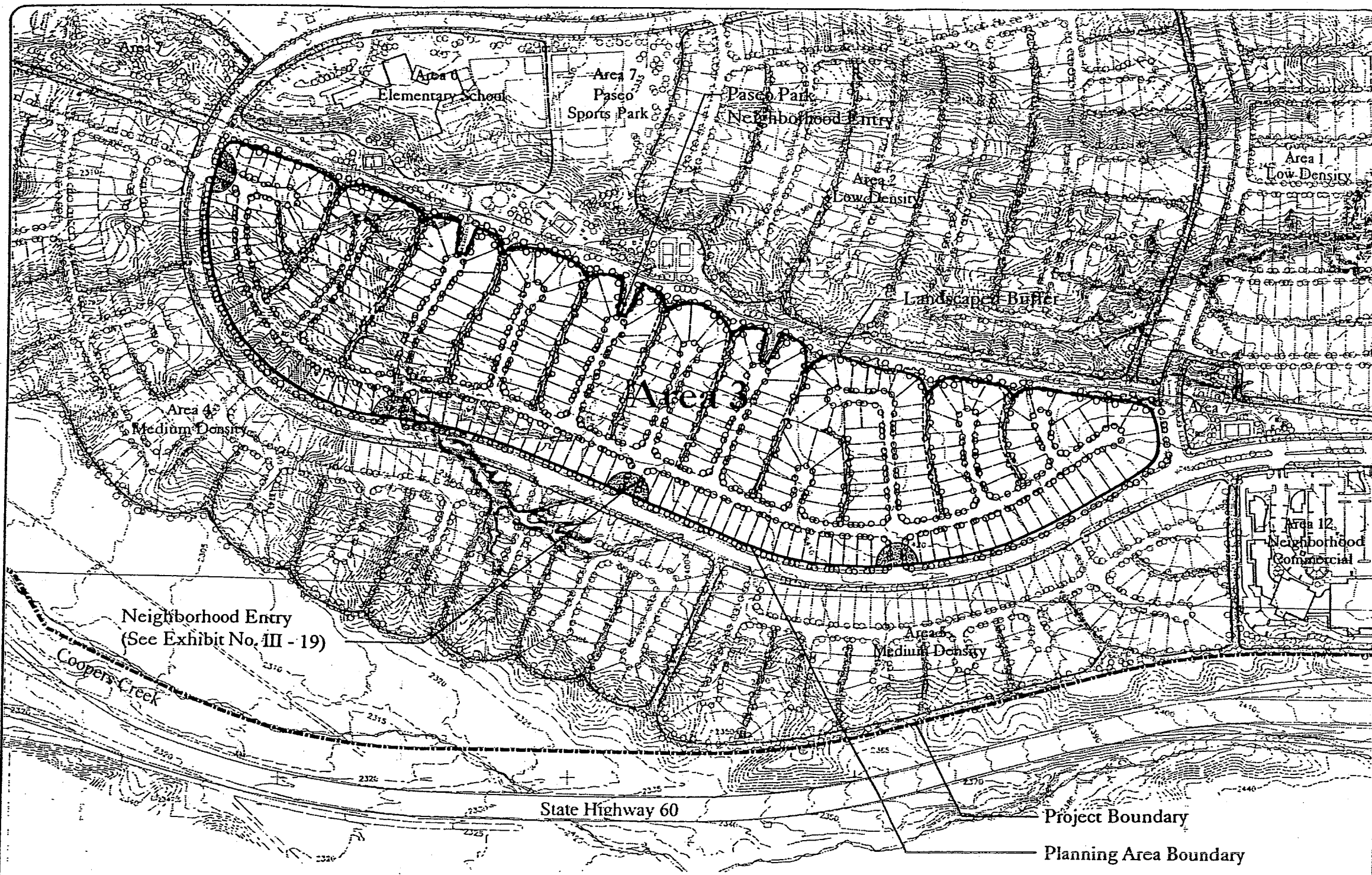
C. Planning Area No. 3

1. DESCRIPTIVE SUMMARY

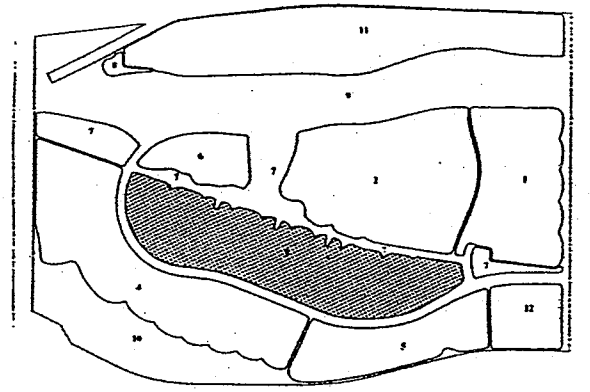
Planning Area No. 3 is proposed for medium density single family detached housing. Planning Area No. 3 is located in Phases 2 and 3 per Heartland's Phasing Plan. A maximum of 330 dwelling units are planned on 50.8 acres, density transfers notwithstanding, yielding an average density of 6.5 dwelling units per acre.

2. PLANNING AREA STANDARDS

- Access to Planning Area No. 3 will be achieved by way of four neighborhood entries emanating from the Heartland Collector Loop Road as illustrated by Exhibit IV-3. The four access points will yield a ratio of 1 access per each 83 dwelling units.
- An expanded parkway landscape treatment will be incorporated into Heartland's Collector Loop Road as illustrated by Exhibit III-15.
- The design and grading of the cul-de-sac lots backing up to the paseo sports park shall exhibit a "scalloped" configuration in order to provide an undulated and varied appearance. This technique will also maximize the area dedicated to active park improvements and prevent an elongated narrow corridor appearance, as illustrated by Exhibits III-33 and IV-7.
- The design and grading of three of the cul-de-sac lots backing up to the paseo sports park shall provide pedestrian access to the paseo sports park. See Exhibit III-21, Paseo Sports Park Activity Entry Node.
- Neighborhood entry statements shall be applied to the four (4) points of ingress/egress emanating from Heartland's Collector Loop Road.

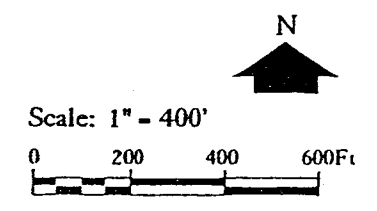


Planning Area 3



Area: 50.8 Ac.
 Density: Medium 4.6 - 6.5 Du./Ac.
 Max. Dwelling Units: 330

Heartland Specific Plan
 Beaumont, California



H E A R T L A N D

Exhibit No.: IV - 3

- A landscape buffer/transition treatment shall be applied to the rear of lots within Planning Area No. 3 which interface with the paseo sports park area.
- Planning Area No. 3 shall be developed in accordance with the single family detached development regulations and standards pursuant to Section 5, Regulations and Development Standards.
- Planning Area No. 3 shall participate in the funding and development of the paseo sports park in a manner consistent with the Recreation Plan and Standards described in Section 3 of this text.
- The ultimate developers of Planning Area No. 3 shall participate in a cooperative school impacts mitigation agreement, which may include the payment of fees and/or the dedication of land in lieu of or in combination of fees, with the Beaumont Unified School District as a condition of tentative map recordation.
- Please refer to Section 3 of this text for additional Specific Plan standards that apply to this planning area.

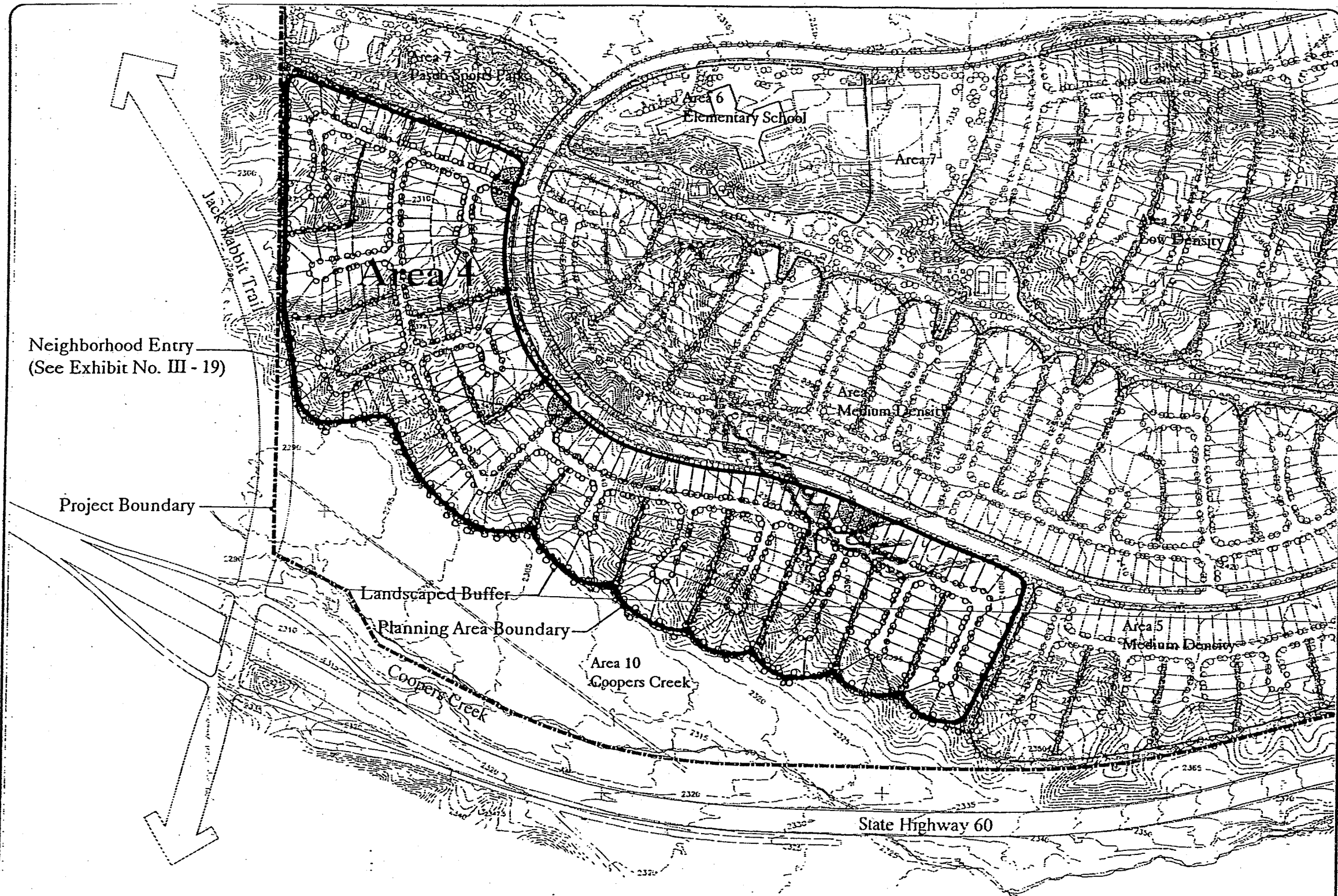
D. Planning Area No. 4

1. DESCRIPTIVE SUMMARY

Planning Area No. 4 is proposed for medium density single family detached housing. Planning Area No. 4 is located within Phases 3 and 4 of Heartland's Phasing Plan. A maximum of 330 dwelling units are planned on 50.9 acres, density transfers notwithstanding, yielding an average density of 6.5 dwelling units per acre.

2. PLANNING AREA STANDARDS

- Access to Planning Area No. 4 will be achieved by way of three neighborhood entries emanating from Heartland's Collector Loop Road, as illustrated by Exhibit IV-4 (Planning Area 4). The three access points will yield a ratio of 1 access per each 110 dwelling units.
- An expanded parkway landscape treatment will be incorporated into Heartland's Collector Loop Road as illustrated by Exhibits III-16 and III-17.



Neighborhood Entry
(See Exhibit No. III - 19)

Project Boundary

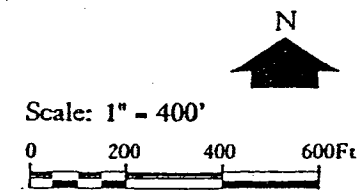
Landscaped Buffer

Planning Area Boundary

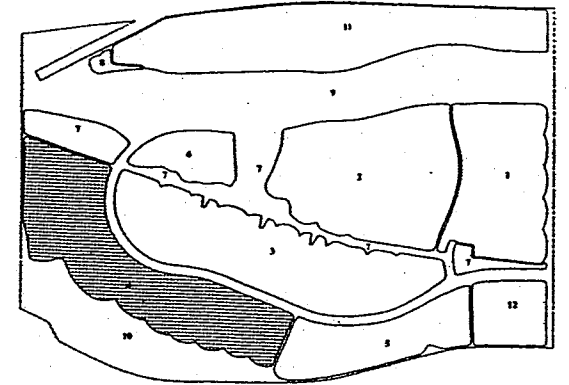
Area 10
Coopers Creek

State Highway 60

Heartland Specific Plan Beaumont, California



Planning Area 4



N
Key Map

Area: 50.9 Ac.
Density: Medium 4.6 - 6.5 Du./Ac.
Max. Dwelling Units: 330

H E A R T L A N D

Exhibit No.: IV - 4

Prepared by Toadly Graphic

- The design and grading of the cul-de-sac lots that interface with the Cooper's Creek Conservation Corridor (Planning Area No. 10) shall exhibit a "scalloped" configuration in order to provide an undulated and varied appearance. This design technique will create a more naturalized interface between the residential units within Planning Area No. 4 and the Cooper's Creek open space and conservation corridor.
- A landscape buffer/transition treatment shall be applied to the descending slope condition between Planning Area No. 4 and the Cooper's Creek Conservation Corridor (Planning Area No. 10) as depicted by Exhibit III-24.
- Neighborhood entry treatments shall be applied to the three points of ingress/egress emanating from Heartland's Collector Loop Road.
- Planning Area No. 4 shall be developed in accordance with the single family detached development regulations and standards pursuant to Section 5, Regulations and Development Standards.
- Planning Area No. 4 shall participate in the funding and development of the paseo sports park in a manner consistent with the Recreation Plan and Standards described in Section 3 of this text.
- The ultimate developers of Planning Area No. 4 shall participate in a cooperative school impacts mitigation agreement, which may include the payment of fees and/or the dedication of land in lieu of or in combination with fees, with the Beaumont Unified School District as a condition of tentative map recordation.
- Please refer to Section 3 of this text for additional Specific Plan standards that apply to this planning area.
- Lots within Planning Area No. 4 located adjacent to Heartland's Collector Loop Road will incorporate community theme walls for noise attenuation purposes pursuant to the noise impacts section of the EIR prepared in conjunction with the Heartland Specific Plan document.

E. Planning Area No. 5

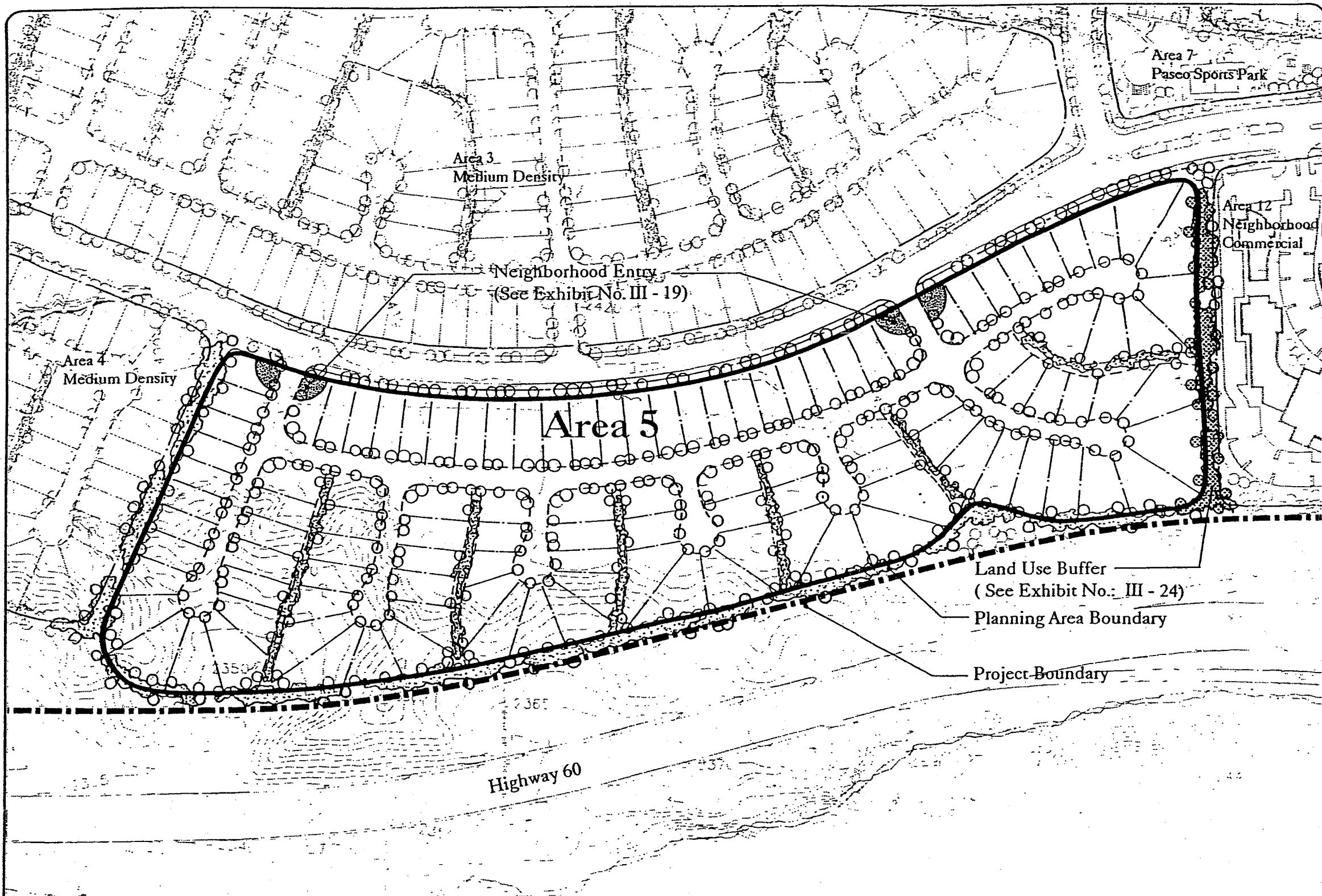
1. DESCRIPTIVE SUMMARY

Planning Area No. 5 is proposed for medium density housing of conventional single family residential or the zero lot line concept as described in Section 3 (Specific Plan Summary). Planning Area No. 5 is located entirely within Phase 4. A maximum of 150 dwelling units are planned on 23.1 acres,

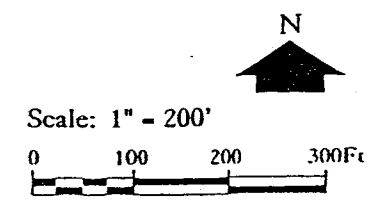
density transfers notwithstanding, yielding an average density of 6.5 dwelling units per acre.

2. PLANNING AREA STANDARDS

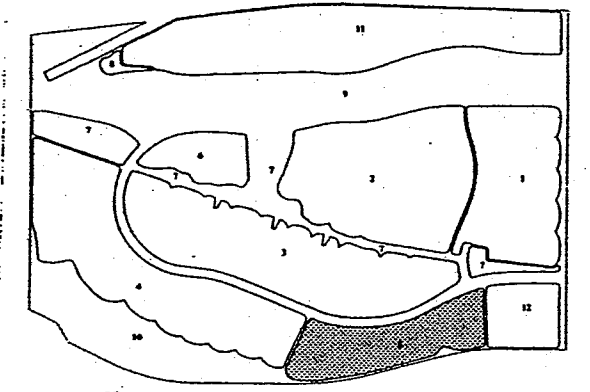
- Access to Planning Area No. 5 will be achieved by way of two neighborhood entries emanating from Heartland's Collector Loop Road, as illustrated by Exhibit IV-5. The two points of ingress/egress will yield a ratio of 1 access point for each 75 dwelling units.
- An expanded parkway landscape treatment will be incorporated along Heartland's Collector Loop Road as illustrated by Exhibits III-16 and III-17.
- The design and grading of the cul-de-sac lots backing up to the State Route 60 right-of-way shall exhibit a rounded appearance in order to provide an undulated and varied appearance. This approach will provide a more esthetic visual appearance when viewed from State Route 60.
- Neighborhood entry monuments shall be applied to the two (2) points of ingress/egress emanating from Heartland's Collector Loop Road.
- Planning Area No. 5 shall participate in the paseo sports park improvement fee program as outlined in Section 3, Specific Plan (Recreation Plan and Standards).
- The definitive developer(s) of Planning Area No. 5 shall enter into a cooperative school impact mitigation agreement, which may include the payment of fees and/or the dedication of land in lieu of or in combination with fees, with the Beaumont Unified School District as a condition of tentative map recordation or phase thereof.
- A landscaped slope buffer/transition treatment shall be applied to the descending slope area located between the residential lots within Planning Area No. 5 and the State Route 60 right-of-way.
- A landscape buffer treatment shall be applied along the interface between the residential lots and the neighborhood commercial center (Planning Area No. 12).
- Planning Area No. 5 shall be developed in accordance with the single family detached and/or zero lot line development regulations and standards pursuant to Section 5, Regulations and Development Standards.
- Please refer to Section 3 of this text for additional Specific Plan standards that apply to this planning area.



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Planning Area 5



Area: 23.1 Ac.
Density: Medium 4.6 - 6.5 Du./Ac.
Max. Dwelling Units: 150

H E A R T L A N D

Exhibit No.: IV - 5

- Lots within Planning Area No. 5 located adjacent to Heartland's Collector Loop Road will incorporate community theme walls for noise attenuation purposes pursuant to the noise impacts section of the EIR prepared in conjunction with the Heartland Specific Plan document.

F. Planning Area No. 6

1. DESCRIPTIVE SUMMARY

Planning Area No. 6, as illustrated by Exhibit IV-6, provides for the development of a 9.2 acre elementary school facility in combination with recreational activity areas. If at some point in time the Beaumont Unified School District should decline the site for development as an elementary school facility, the project proponent would reserve the right to develop the 9.2 acre planning area consistent with the medium density residential land use category as described in Section 6 (Administration and Implementation).

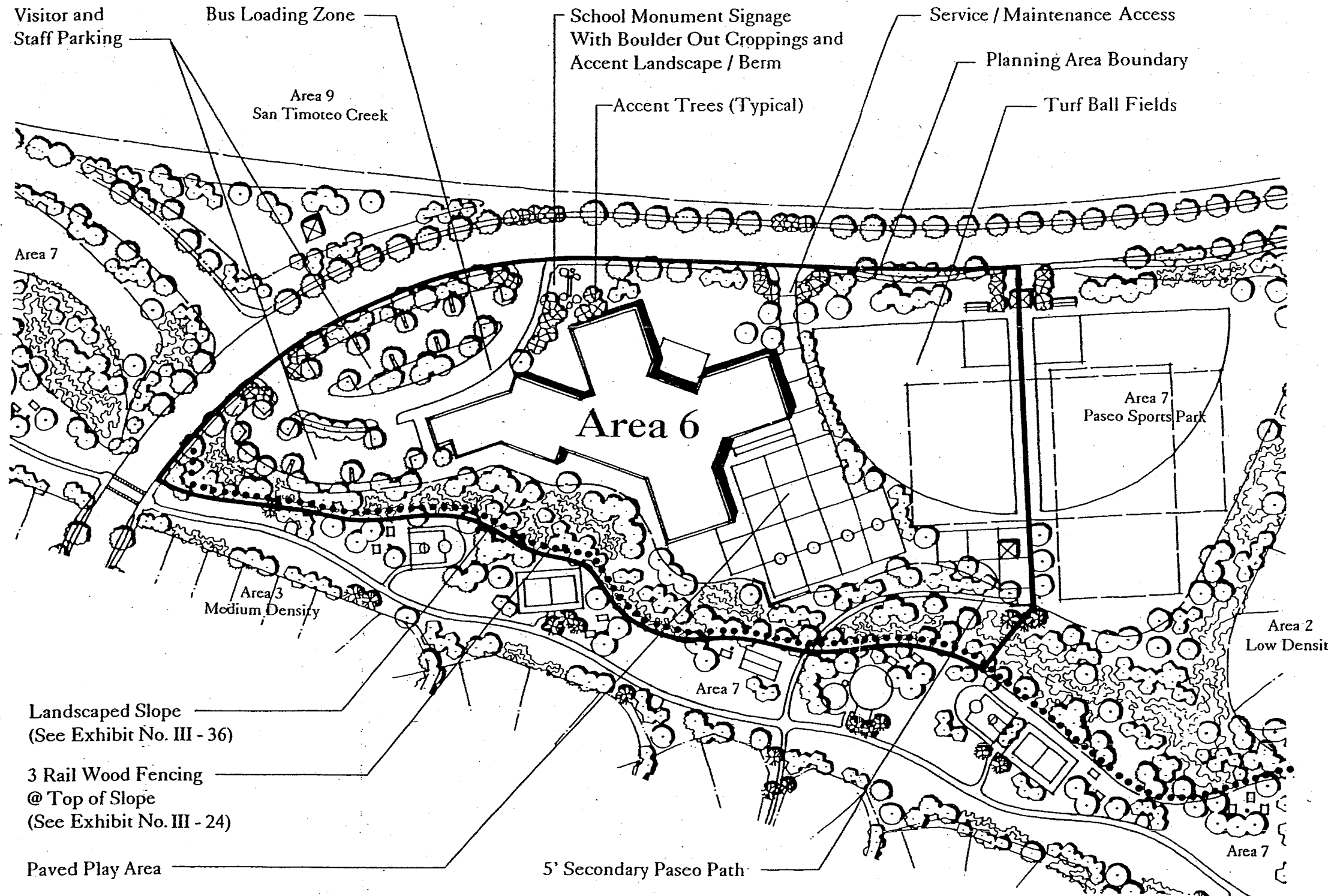
2. PLANNING AREA STANDARDS

- Access to the school facility will be achieved by way of the Heartland Collector Loop Road.
- In order to facilitate non-vehicular access, the school facility will also be accessible by way of a Class II bicycle trail located in the Heartland Collector Loop Road and by way of the paseo sports park trail system.
- A landscape slope transition treatment as depicted by Exhibit III-24 shall be incorporated between the elementary school and the adjoining segment of the paseo sports park (Planning Area No. 7).
- The elementary school facility may be constructed by the Beaumont Unified School District and shall adhere to standards prescribed by the State of California.
- Please refer to Section 3 of this text for additional Specific Plan standards that apply to this planning area.

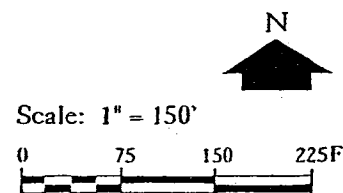
G. Planning Area No. 7

1. DESCRIPTIVE SUMMARY

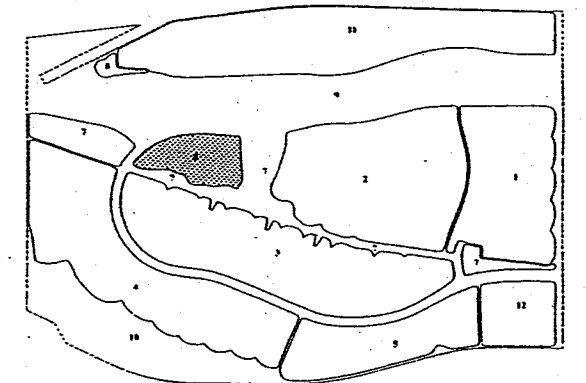
Planning Area No. 7 provides for the development of a 23.9-acre paseo sports park representing the centerpiece of Heartland's active recreational amenity, which will provide a system of multi-purpose trails linked to a series of active recreational nodes. The entire paseo park is illustrated by Exhibit IV-7. In addition, given the park's elongated configuration, the planning area has been divided into three segments for illustrative purposes and in order to



Heartland Specific Plan Beaumont, California



Planning Area 6



Key Map

Area: 9.2 Ac.
Permitted Use: Elementary School

H E A R T L A N D

Exhibit No.: IV - 6

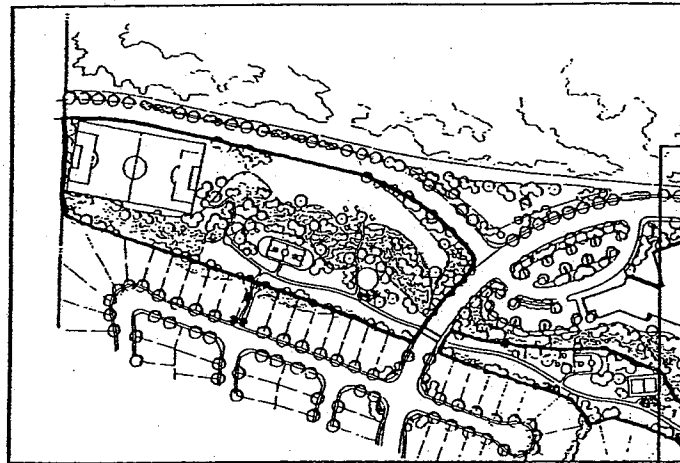
Prepared by Toddly Graphic

provide a greater degree of clarity with respect to the improvements and amenities anticipated within the park, see Exhibits IV-7a, IV-7b and IV-7c.

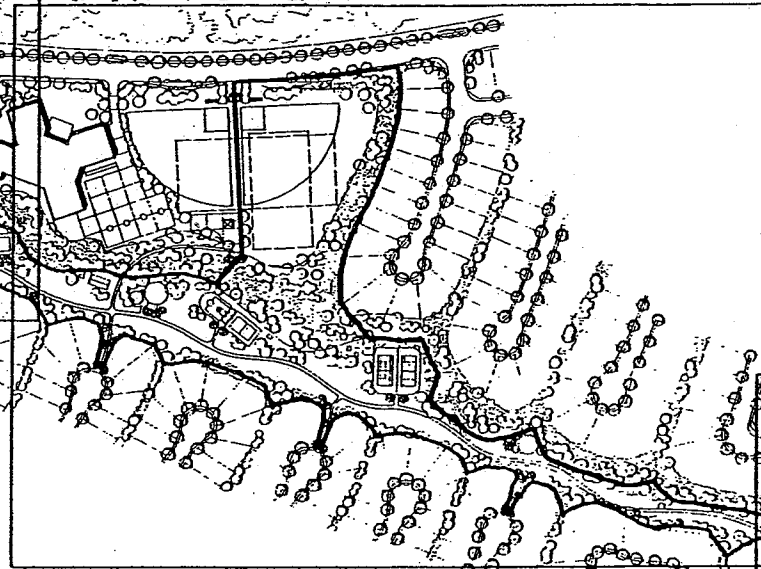
2. PLANNING AREA STANDARDS

- Access to Planning Area No. 7 will be achieved by both vehicular and non-vehicular means. However, the thrust of the paseo sports park in terms of access opportunities is to promote non-vehicular means such as pedestrian and bicycle. This will be achieved by way of a Class II bicycle lane incorporated within the Heartland Collector Loop Road right-of-way in conjunction with a meandering sidewalk incorporated into the parkway design. In addition, a multi-purpose trail system physically links the paseo park activity nodes to various residential enclaves at strategic locations.
- The various phases of the paseo sports park shall be offered for dedication and improved prior to the fifty percent occupancy of the dwelling units in the final tract map of the master phase, which incorporates a given segment of the paseo sports park.
- Planning Area No. 7 shall be designed to accommodate both passive and active recreational opportunities.
- The various activity nodes within the paseo sports park shall include tennis courts, basketball courts, softball and soccer fields, picnic areas, par-course stations, tot lots, primary and secondary pedestrian paths and open space areas, as depicted by Exhibit IV-7 and IV-7a through 7e.
- Park improvements shall be constructed in substantial conformance with the Park and Recreation Improvement Plan as illustrated by Exhibit IV-7. Specific improvements to be incorporated into each of the activity nodes can deviate from the conceptual plan providing the total number of facilities is observed per the Planning Director's approval.
- Maintenance of all common activity recreation areas and public street rights-of-way will be the responsibility of a Community Service District (CSD), master homeowners association, assessment district, or as approved by the City of Beaumont.
- Planning Area No. 7 shall be developed in accordance with the regulations and standards described in Section 5 (Regulations and Development Standards).
- Please refer to Section 3 (Specific Plan) of this text for additional specific plan standards that apply to this planning area.
- The paseo sports park shall be designed in such a manner as to facilitate joint use with the adjacent elementary school site (Planning Area No. 6).

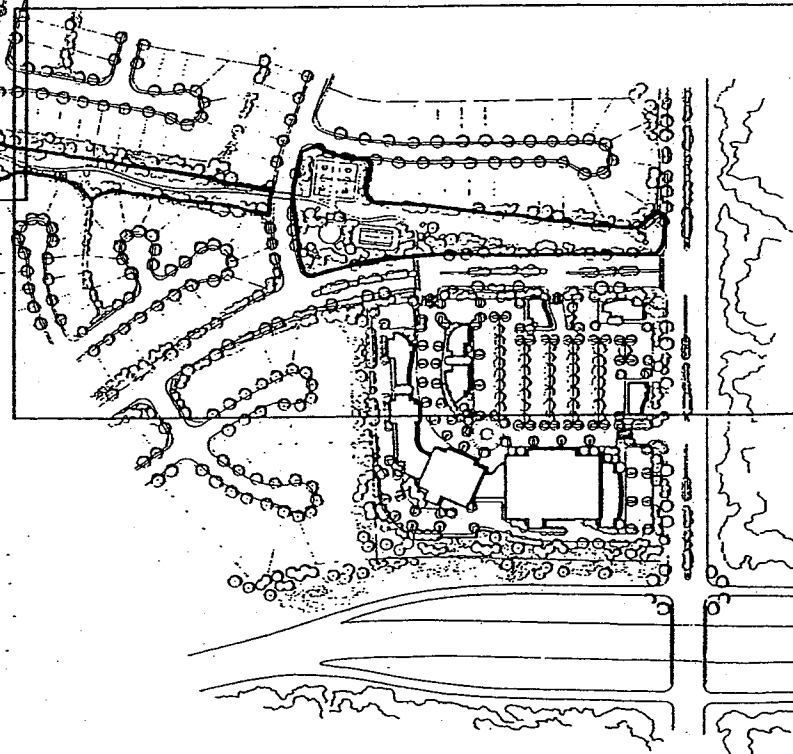
Area 7a (See Exhibit No. IV-7a)



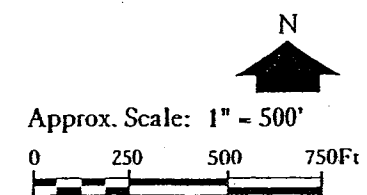
Area 7b (See Exhibit No. IV-7b)



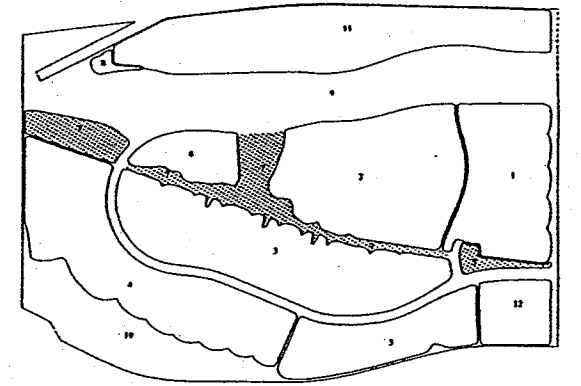
Area 7c (See Exhibit No. IV-7c)



Heartland Specific Plan Beaumont, California



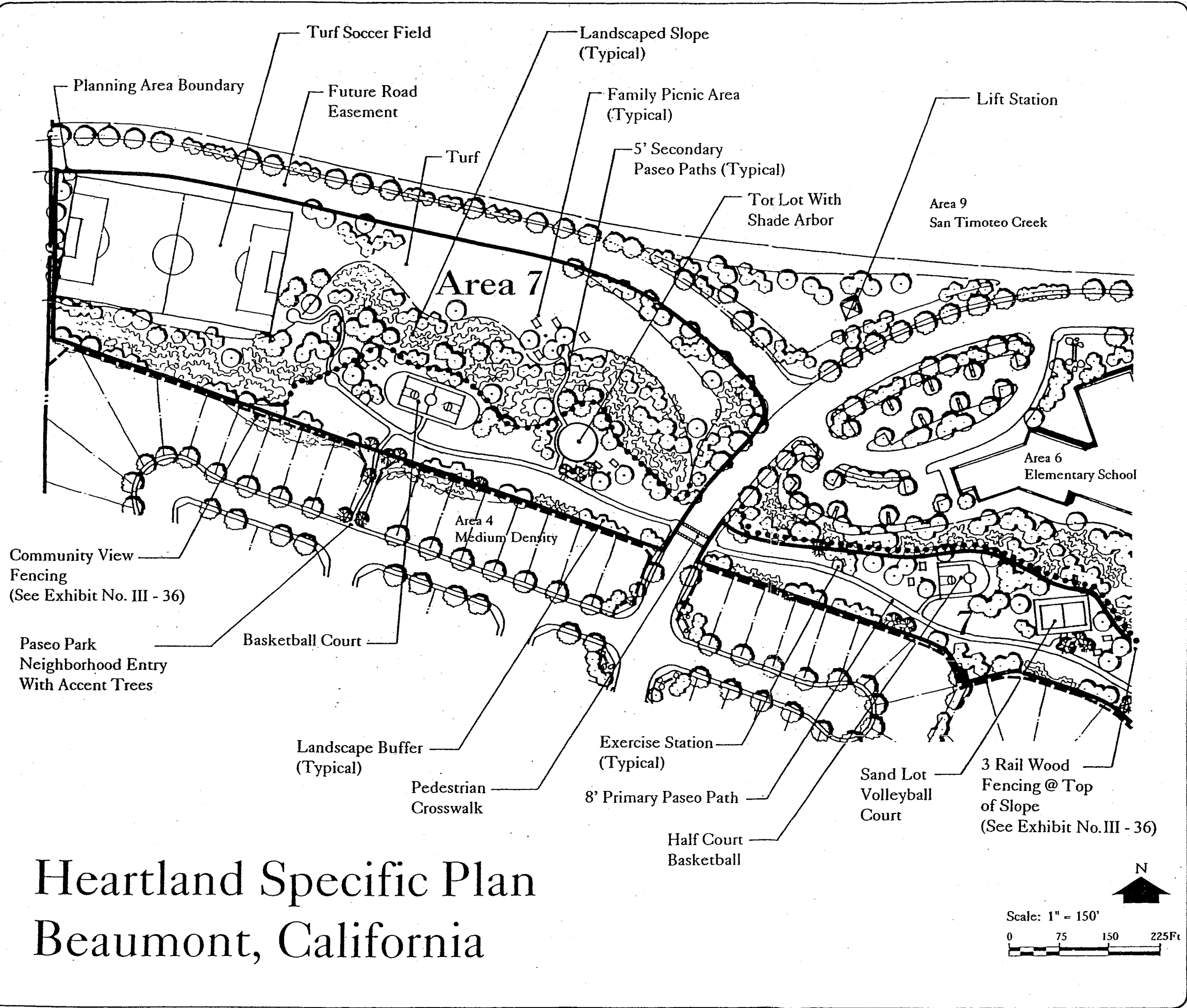
Planning Area 7



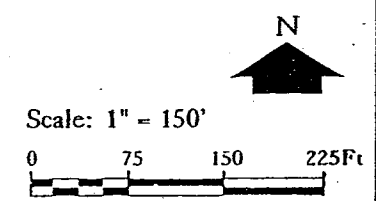
Total Area: 23.9 Ac.
Permitted Use: Paseo Sports Park

H E A R T L A N D

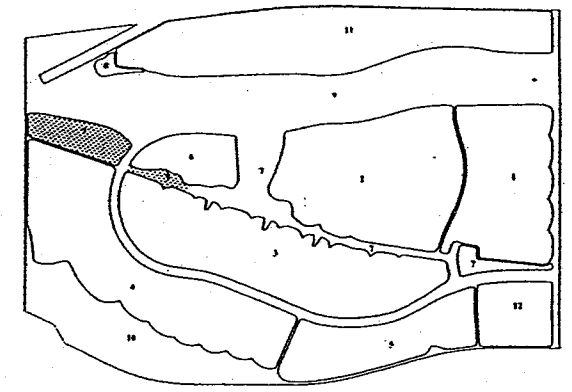
Exhibit No.: IV - 7



Heartland Specific Plan Beaumont, California



Planning Area 7a

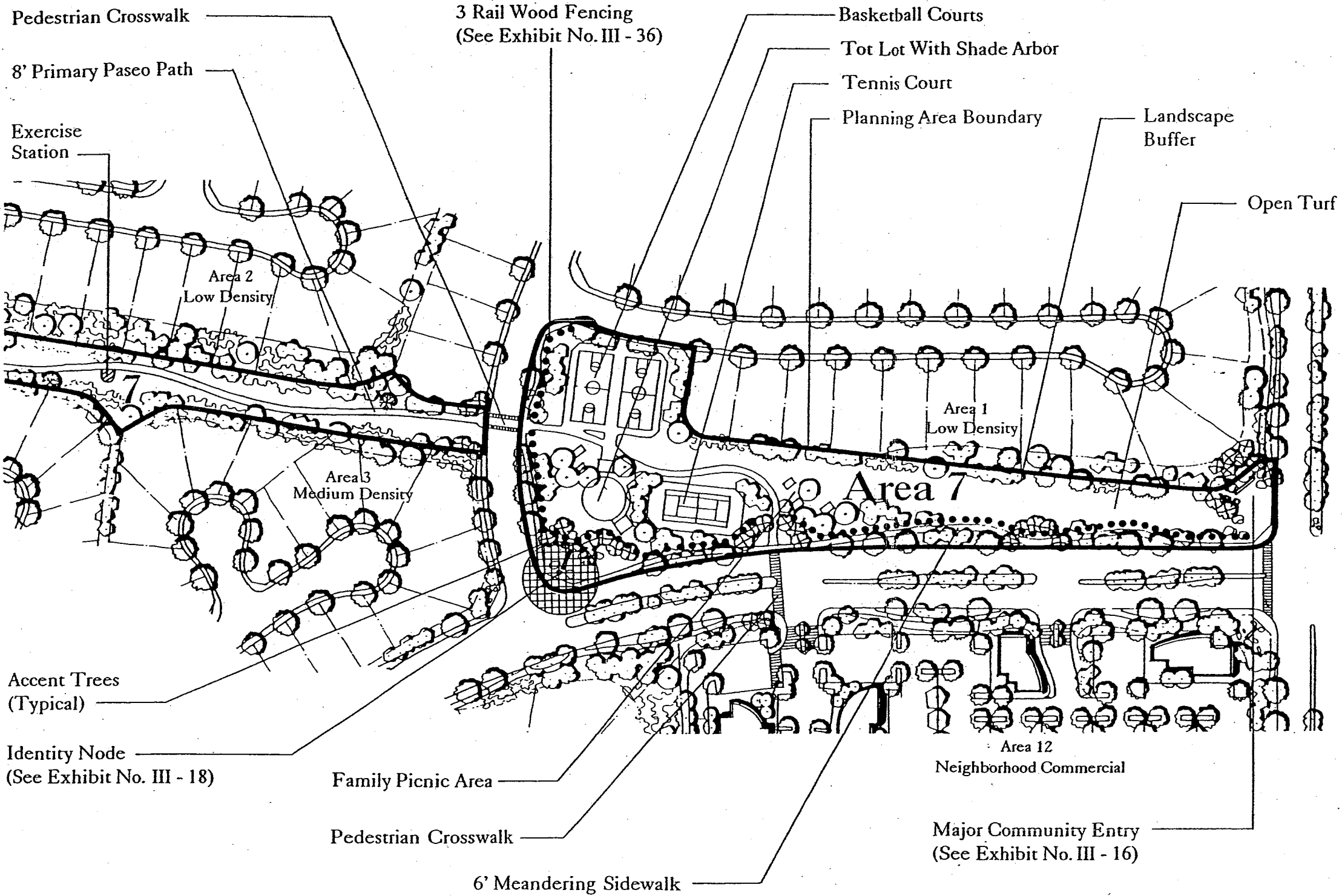


Total Area: 23.9 Ac.
Permitted Use: Paseo Sports Park

H E A R T L A N D

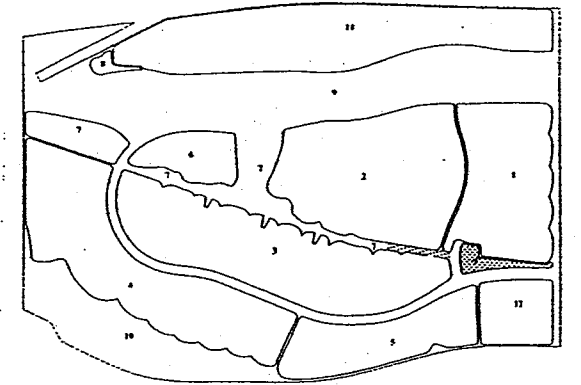
Exhibit No.: IV - 7a

Prepared by *Toadly Graphic*



Heartland Specific Plan Beaumont, California

Planning Area 7c



Total Area: 23.9 Ac.
 Permitted Use: Paseo Sports Park

H E A R T L A N D

Exhibit No.: IV - 7c

Prepared by Tandy Graphic

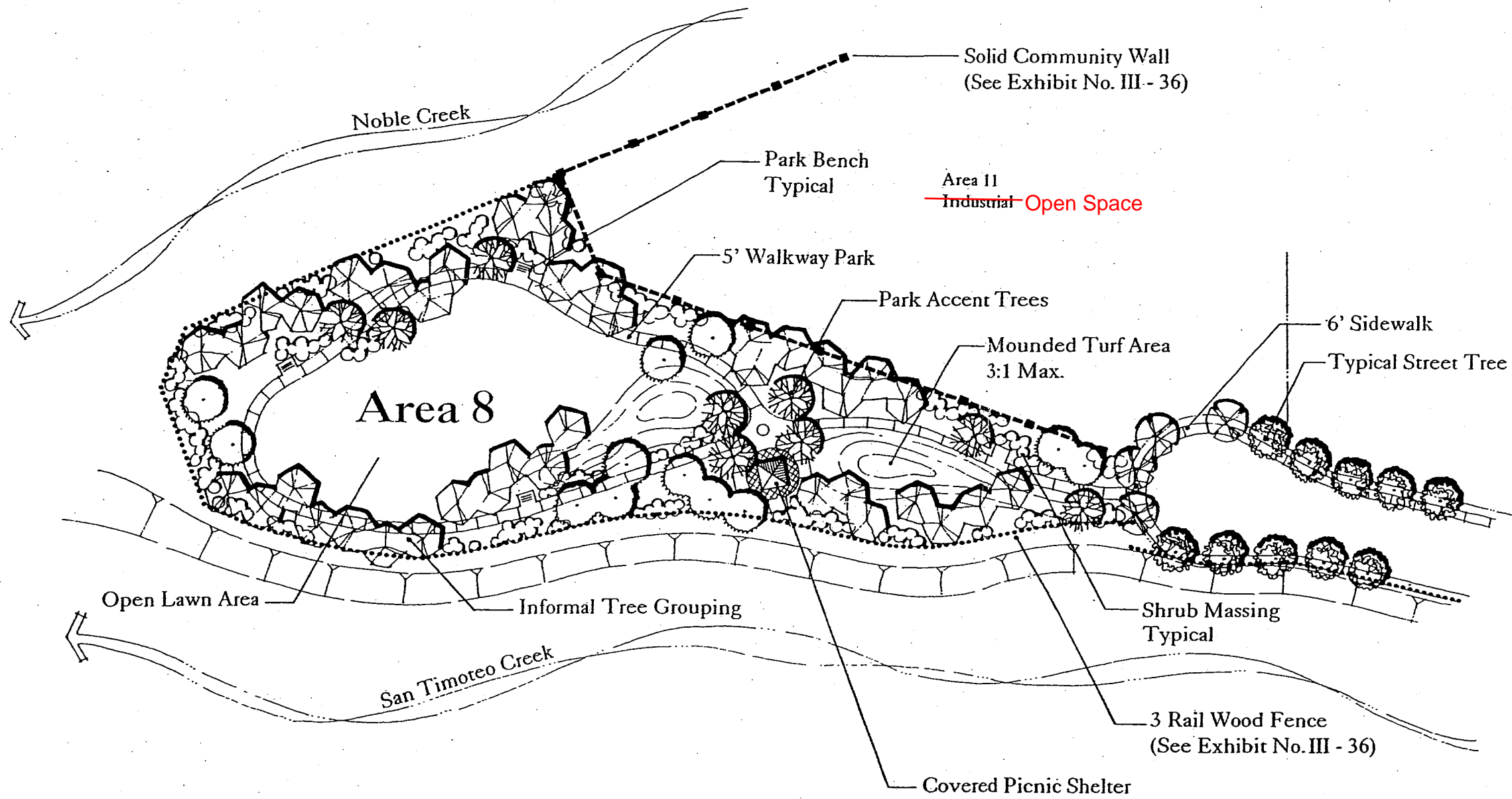
H. Planning Area No. 8

1. DESCRIPTIVE SUMMARY

Planning Area No. 8 will provide a respite park developed on 1.4 acres which is physically linked to the industrial/business park component (Planning Area No. 11). The respite park area, as illustrated by Exhibit IV-8, is intended to provide employees within the industrial business park complex with an outdoor close-at-hand opportunity to spend their lunch and break time activities.

2. PLANNING AREA STANDARDS

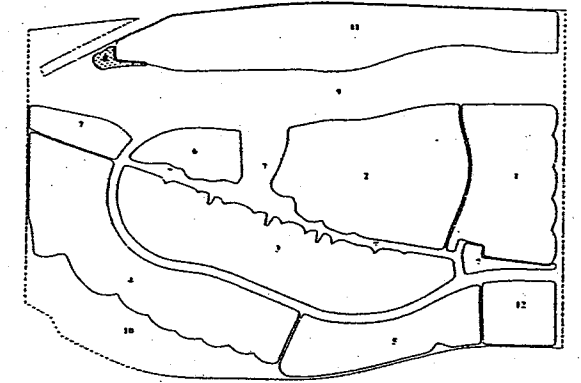
- Access to Planning Area No. 8 shall be achieved by way of the industrial collector road or by pedestrian means, utilizing sidewalks incorporated into the industrial collector road.
- Planning Area No. 8 shall be designed/improved to accommodate passive recreation amenities, such as park benches, open turf areas, covered picnic shelters, meandering walk areas in conjunction with landscape features.
- The respite park improvements plans shall be constructed in substantial conformance with Exhibit IV-7.
- Maintenance of the respite park area will be the responsibility of a Community Service District (CSD), master industrial property owners association, assessment district, or as approved by the City of Beaumont.
- Planning Area No. 8 shall be fully developed prior to the issuance of the first certificate of occupancy for any structure constructed within the industrial park complex plan (Area No. 11).
- Planning Area No. 8 shall be developed in accordance with the regulations and standards described in Section 5 (Regulations and Development Standards).
- Please refer to Section 3 (Specific Plan) of this text for additional specific plan standards that apply to this planning area.



Heartland Specific Plan Beaumont, California



Planning Area 8



Area: 1.4 Ac.
 Permitted Use: Respite Park

H E A R T L A N D

Exhibit No.: IV - 8

I. Planning Area No. 9

1. DESCRIPTIVE SUMMARY

Planning Area No. 9 is proposed for 61.4 acres of passive open space and resource conservation within the San Timoteo Creek wash. The principal function of Planning Area No. 9 is to maintain San Timoteo Creek in a natural condition and, in so doing, preserve the alluvial fan sage scrub habitat located thereon, and protect associated sensitive wildlife species. See Exhibit IV-9.

2. PLANNING AREA STANDARDS

- Planning Area No. 9 shall be dedicated to a conservation entity as custodian for permanent open space and conservation use.
- Planning Area No. 9 shall be maintained as functional wildlife movement corridor and as a conservation area towards the preservation of alluvial fan sage scrub and associated sensitive wildlife species.
- Please refer to Section 3 (Specific Plan) of this text for additional specific plan standards that apply to this planning area.

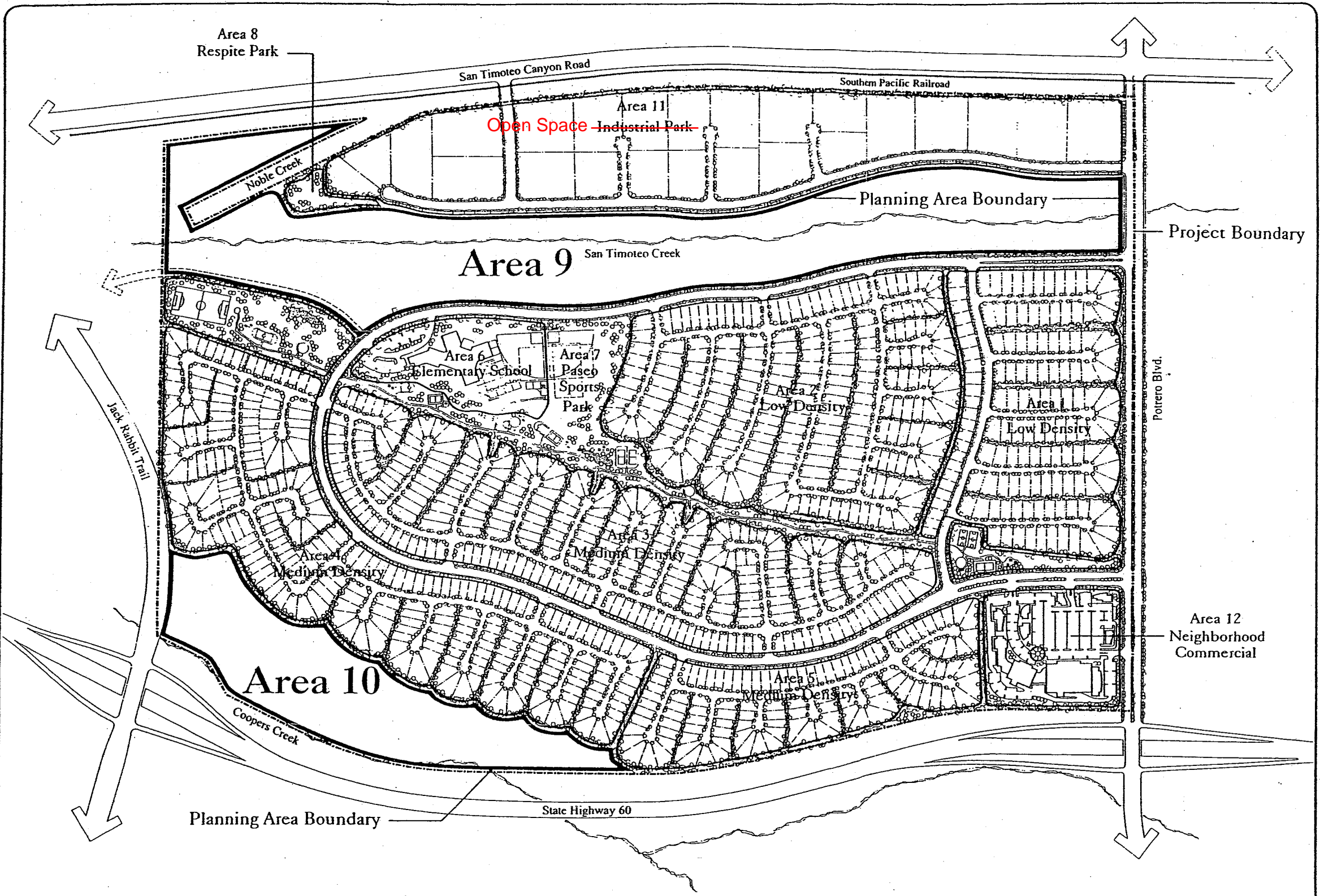
J. Planning Area No. 10

1. DESCRIPTIVE SUMMARY

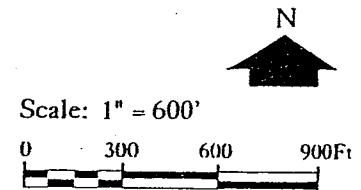
Planning Area No. 10 is proposed for 27.6 acres of passive open space and resource conservation within the Cooper's Creek drainage. The primary function of Planning Area 10 is to retain and preserve approximately 5 acres of high quality oak/willow woodlands associated with Cooper's Creek drainage. Planning Area No. 10 will maintain an additional 22.6 acres beyond the oak/willow woodland in an undisturbed condition in order to provide an additional buffer area between the resource area and the adjacent residential planning area. See Exhibit IV-9.

2. PLANNING AREA STANDARDS

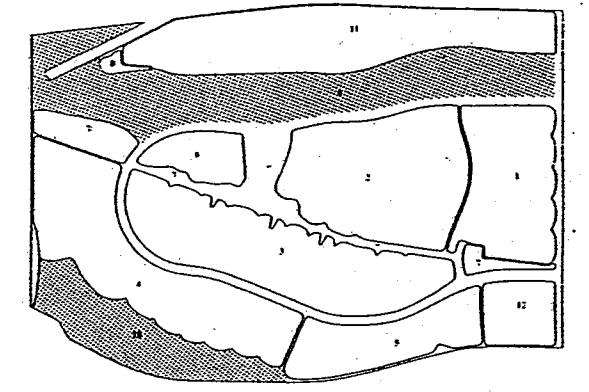
- Planning Area No. 10 shall be dedicated to a conservation entity as custodian for permanent open space and conservation use.



Heartland Specific Plan Beaumont, California



Planning Areas 9 & 10



Area 9: 61.4 Ac.
 Area 10: 27.6 Ac.
 Permitted Use: Open Space and
 Conservation

H E A R T L A N D

Exhibit No.: IV - 9

Prepared by Tandy Graphic

- Planning Area No. 10 shall be maintained as a functional wildlife movement corridor and as a conservation area towards the preservation of oak/willow woodlands associated with Cooper's Creek drainage.
- A landscaped slope buffer/transition treatment shall be applied over the descending slope area lying between the riparian resource area and the adjacent residential uses located within Planning Area No. 4.
- Please refer to Section 3 (Specific Plan) of this text for additional specific plan standards that apply to this planning area.

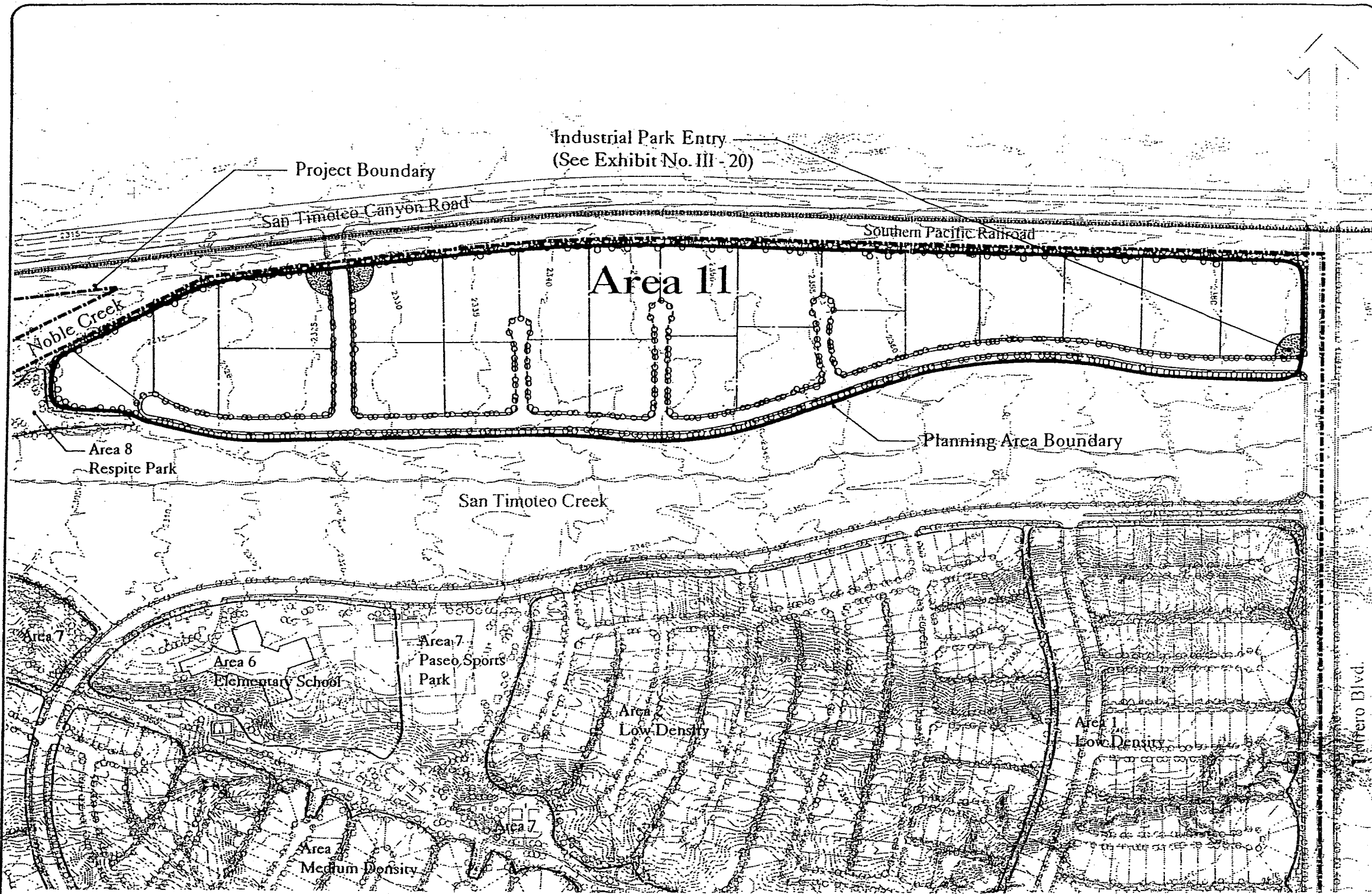
K. Planning Area No. 11

1. DESCRIPTIVE SUMMARY

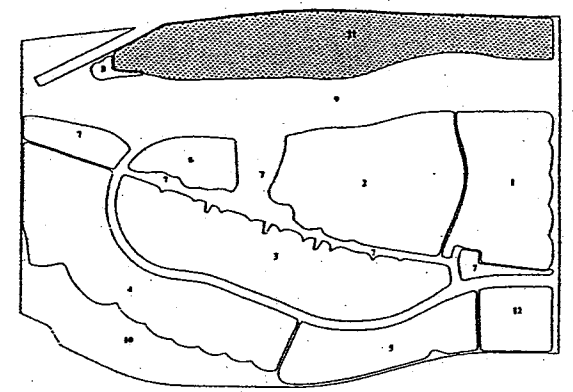
Planning Area No. 11 consists of 50.3 acres of ^{Open Space} industrial park land uses. ~~As described in Section 3 (Specific Plan), it is anticipated that the planning area will support varied uses such as research and development, warehousing activities, light manufacturing and limited support commercial uses. The Planning Area Graphic (Exhibit IV-10), illustrates conceptually the manner in which the industrial park planning area could be parcelized in anticipation of future development.~~

2. PLANNING AREA STANDARDS

- ~~Access to Planning Area No. 11 will be achieved by way of Potrero Boulevard and San Timoteo Canyon Road.~~
- ~~Industrial park entry statements shall be applied at the two above-referenced access points.~~
- ~~Planning Area No. 11 will be protected from the San Timoteo Creek by elevating the pad areas above the 100 year flood plain in a manner consistent with the Conceptual Grading Plan, Exhibit III-12, and relevant studies as required by the City of Beaumont, RCFCD, FEMA, etc.~~
- ~~A landscape buffer/transition treatment shall be applied between the industrial collector road and San Timoteo Creek as illustrated by Exhibit III-30.~~
- ~~Prior to the recordation of the first subdivision or phase thereof within Planning Area No. 11, the project proponent(s) shall establish a park improvement program to ensure that the cost of improving and~~

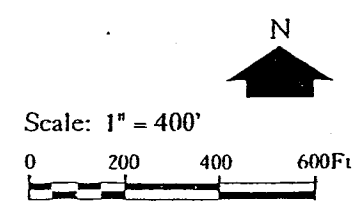


Planning Area 11



Area: 50.3 Ac.
 Permitted Use: ~~Industrial Park~~
 Open Space

Heartland Specific Plan
 Beaumont, California



H E A R T L A N D

Exhibit No.: IV - 10

~~maintaining the respite park (Planning Area No. 8) is equitably distributed over the entire industrial park planning area.~~

~~• Planning Area No. 11 shall be developed in accordance with the industrial park development standards pursuant to Section 5, Regulations and Development Standards.~~

~~• Please refer to Section 3 of this text for additional Specific Plan standards that apply to this planning area.~~

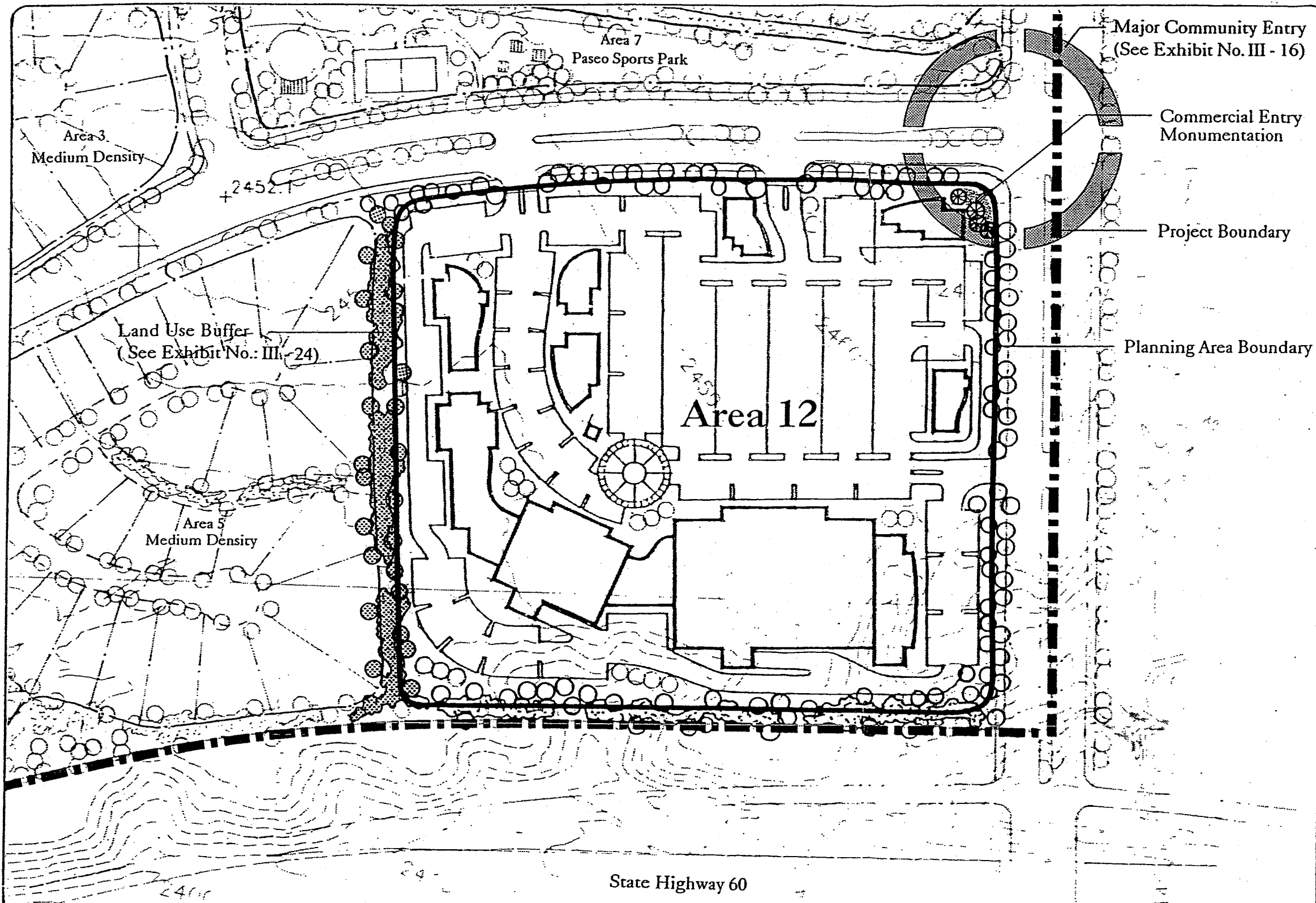
L. Planning Area No. 12

1. DESCRIPTIVE SUMMARY

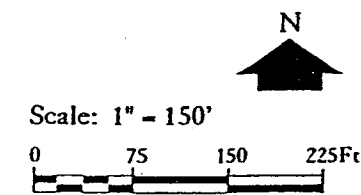
Planning Area No. 12 consists of 11.5 acres of neighborhood commercial located within the Specific Plan so as to provide goods and services for the Heartland community in addition to capturing retail dollars from commuters utilizing the State Route 60 corridor. Exhibit IV-11 illustrates a conceptual plan view of the planning area in a developed condition.

2. PLANNING AREA STANDARDS

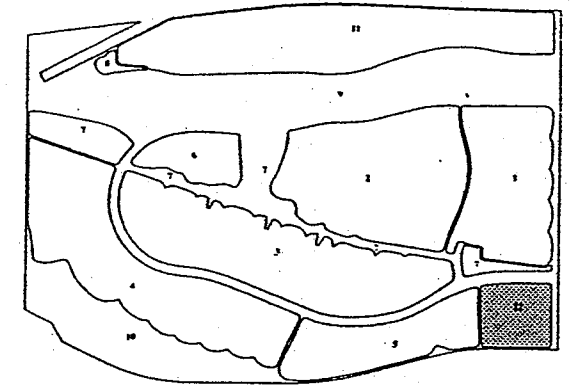
- Access to Planning Area No. 12 will be achieved by way of Potrero Boulevard and Heartland's Collector Loop Road (South).
- Median breaks will be provided at two locations along the Collector Loop Road to facilitate left-hand turning movements into and out of the commercial center.
- A single median break will be provided mid-way along Potrero Boulevard to facilitate left-hand turn movements into and out of the commercial center.
- A commercial/residential land use buffer will be established to screen the commercial uses from the residential units proposed within Planning Area No. 5, as illustrated by Exhibit III-24.
- A parkway landscape treatment will be incorporated into the design of Potrero Boulevard and Heartland's Collector Loop Road as illustrated by Exhibit III-23 and Exhibit III-25, respectively.



Heartland Specific Plan Beaumont, California



Planning Area 12



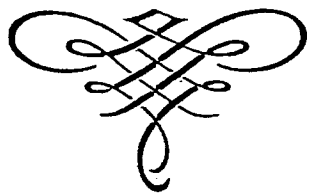
Area: 11.5 Ac.
Permitted Use: Neighborhood
Commercial
Building Area: 125,000 ± S.F.

H E A R T L A N D

Exhibit No.: IV - 11

- A commercial entry monumentation and associated landscaping will be applied at the intersection of Potrero Boulevard and Heartland's Collector Loop Road (South).
- Planning Area No. 12 shall be developed in accordance with the commercial development regulations and standards pursuant to Section 5, Regulations and Development Standards.
- Please refer to Section 3 of this text for additional specific plan standards that apply to this planning area.
- A uniform signage program shall be established prior to the erection of any signs.

Chapter V
Development Regulations



V. Development Regulations

The development regulations contained herein provide specific standards relative to permitted land uses in addition to design and construction criteria to be applied within each of the various residential, commercial, industrial and open space/recreation land use categories.

Application of the following regulations through the Specific Plan Area (SPA) zoning mechanism is intended to create a harmonious relationship between the various land uses approved within the Heartland Specific Plan and to protect the health, safety and general welfare of the Heartland community. Upon adoption of the SPA zone by ordinance and the adoption of the Specific Plan by resolution, these regulations will supersede otherwise applicable City of Beaumont zoning regulations unless it is stated herein to the contrary. Whenever a development standard contained herein conflicts with an equivalent standard contained in the City of Beaumont Zoning Ordinance, the provisions of the Heartland Specific Plan shall take precedence. In instances where the Specific Plan does not address a particular regulation, the applicable City of Beaumont code shall apply.

A. *Residential Categories*

This section sets forth the development regulations for all residential land uses.

1. SINGLE FAMILY DETACHED, 7,000 SQUARE FOOT LOTS

This category includes those areas designated for the development of single family detached dwelling units with a minimum 7,000 square foot lot.

a) *PRINCIPAL USES AND STRUCTURES PERMITTED*

1. Single family detached dwellings.
2. Public or private parks, recreational facilities and open space areas.

b) *ACCESSORY USES AND STRUCTURES PERMITTED*

- The keeping of not more than 3 domestic animals such as dogs or cats over the age of 6 months.
- Home occupations subject to the provisions of the Beaumont Municipal Code.
- Garages.
- Carports, when ancillary to a two-car enclosed garage.

- Common RV parking lot.
- Swimming pools, spas, fountains, and other landscape amenities.
- Patio covers and other shade structures.
- Mailboxes.
- Storage, garden structures, and greenhouses.

c) *USES AND STRUCTURES PERMITTED AND SUBJECT TO A CONDITIONAL USE PERMIT*

- The keeping of wild, exotic or non-domestic animals.
- The keeping of more than 3 domestic animals which constitutes a kennel.
- Temporary uses including model home and subdivision sales trailers, temporary construction offices and facilities, real estate signs, future development and directory signs.

d) *SITE DEVELOPMENT STANDARDS*

- Permitted density: 5.0 dwelling units per acre.
- Lot area, minimum per unit: 7,000 square feet. (Note: minimum lot area must be maintained regardless of lot width or depth.)
- Lot width, minimum per lot: 55 feet. (Note: cul-de-sac lots or pie-shaped lots must maintain the minimum lot width at the front setback line.)
- Lot depth, minimum per lot: 90 feet as measured from the right-of-way line.
- Building setbacks.
 - Front: 20 feet as measured from the right-of-way line, or 18 feet as measured from the back of walk, whichever is greater.
 - Side: 5/10 feet. (Note: The 10 foot side yard setback refers to structures having a corner lot orientation.)
 - Rear: 20 feet. (Note: minimum 10 feet for accessory structures.)
- Building height, maximum: 32 feet.
- Building coverage, maximum: 40 percent.
- Parking.
 - Enclosed garage: 2 spaces.
 - On-site guest parking: 2 spaces.

2. SINGLE FAMILY DETACHED 6,000 SQUARE FOOT LOTS

This category includes those areas designated for the development of single family detached dwellings with 6,000 square feet (c) minimums.

a) *PRINCIPAL USES AND STRUCTURES PERMITTED*

- Single family detached dwellings.
- Public or private parks, recreational facilities and open space areas.

b) *ACCESSORY USES AND STRUCTURES PERMITTED*

- The keeping of not more than 3 domestic animals such as dogs or cats over the age of 6 months.
- Home occupations subject to the provisions of the Beaumont Municipal Code.
- Garages.
- Carports, when ancillary to a two-car garage.
- Common RV parking lot.
- Swimming pools, spas, fountains, and other landscape amenities.
- Patio covers and other shade structures.
- Mailboxes.
- Storage, garden structures, and greenhouses.

c) *USES AND STRUCTURES PERMITTED AND SUBJECT TO A CONDITIONAL USE PERMIT*

- The keeping of wild, exotic or non-domestic animals.
- The keeping of more than 3 domestic animals which constitutes a kennel.
- Temporary uses including model home and subdivision sales trailers, temporary construction offices and facilities, real estate signs, future development and directory signs.

d) *SITE DEVELOPMENT STANDARDS*

- Permitted density: 5.0 dwelling units per acre.
- Lot area, minimum per unit: 6,000 square feet. (Note: minimum lot area must be maintained regardless of lot width or depth.)
- Lot width, minimum per lot: 50 feet. (Note: cul-de-sac lots or pie-shaped lots must maintain the minimum lot width at the front setback line.)
- Lot depth, minimum per lot: 90 feet as measured from the right-of-way line.
- Building setbacks.
 - Front: 20 feet as measured from the right-of-way line, or 18 feet as measured from the back of walk, whichever is greater.
 - Side: 5/7.5 feet. (Note: the 5/7.5 feet indicates a staggered setback condition in order to achieve a varied appearance, except for structures with a corner lot orientation in which a 10 foot setback shall be required of single story units and a 15 foot setback required of two story units.)
 - Rear: 15 feet. (Note: minimum 10 feet for accessory structures.)
- Building height, maximum: 32 feet.
- Building coverage, maximum: 45 percent.
- Parking.
 - Enclosed garage: 2 spaces.
 - On-site guest parking: 2 spaces.

3. SINGLE FAMILY DETACHED 5,000 SQUARE FOOT LOTS

This category includes those areas designated for the development of single family detached dwellings with 5,000 square foot minimum pads.

a) *PRINCIPAL USES AND STRUCTURES PERMITTED*

- Single family detached dwellings.
- Public or private parks, recreational facilities and open space areas.

b) *ACCESSORY USES AND STRUCTURES PERMITTED*

- The keeping of not more than 3 domestic animals such as dogs or cats over the age of 6 months.
- Home occupations subject to the provisions of the Beaumont Municipal Code.
- Garages.
- Carports, when ancillary to a two-car garage.
- Common RV parking lot.
- Swimming pools, spas, fountains, and other landscape amenities.
- Patio covers and other shade structures.
- Mailboxes.
- Storage, garden structures, and greenhouses.

c) *USES AND STRUCTURES PERMITTED AND SUBJECT TO A CONDITIONAL USE PERMIT*

- The keeping of wild, exotic or non-domestic animals.
- The keeping of more than 3 domestic animals which constitutes a kennel.
- Temporary uses including model home and subdivision sales trailers, temporary construction offices and facilities, real estate signs, future development and directory signs.

d) *SITE DEVELOPMENT STANDARDS*

- Permitted density: 6.5 dwelling units per acre.
- Lot area, minimum per unit: 5,000 square feet providing a 5,000 square foot pad area is maintained exclusive of side and rear yard slopes. (Note: minimum lot area must be maintained regardless of lot width or depth).
- Lot width, minimum per lot: 45 feet. (Note: cul-de-sac lots or pie-shaped lots must maintain the minimum lot width at the front setback line.)
- Lot depth, minimum per lot: 90 feet as measured from the right-of-way line.
- Building setbacks.

Front: 20 feet as measured from the right-of-way line, or 18 feet as measured from the back of walk, whichever is greater.

Side: 5/7.5 feet. (Note: The 5/7.5 feet criteria indicates a staggered setback condition in order to achieve a varied appearance, except that structures with a corner lot orientation, in which a 10 foot side yard for single story and a 15 foot side yard for two story structures shall be maintained.

Rear: 15 feet. (Note: minimum 10 feet for accessory structures.)

- Building height, maximum: 32 feet.
- Building coverage, maximum: 45 percent.
- Parking.
 - Enclosed garage: 2 spaces.
 - On-site guest parking: 2 spaces.

4. SINGLE FAMILY DETACHED 4,500 SQUARE FOOT LOTS

This category includes those areas designated for the development of single family detached dwellings with 4,500 square foot minimum pad area.

a) *PRINCIPAL USES AND STRUCTURES PERMITTED*

- Single family detached dwellings.
- Public or private parks, recreational facilities and open space areas.

b) *ACCESSORY USES AND STRUCTURES PERMITTED*

- The keeping of not more than 3 domestic animals such as dogs or cats over the age of 6 months.
- Home occupations subject to the provisions of the Beaumont Municipal Code.
- Garages.
- Carports, when ancillary to a two-car garage.
- Common RV parking lot.
- Swimming pools, spas, fountains, and other landscape amenities.
- Patio covers and other shade structures.
- Mailboxes.
- Storage, garden structures, and greenhouses.

c) *USES AND STRUCTURES PERMITTED AND SUBJECT TO A CONDITIONAL USE PERMIT*

- The keeping of wild, exotic or non-domestic animals.
- The keeping of more than 3 domestic animals which constitutes a kennel.
- Temporary uses including model home and subdivision sales trailers, temporary construction offices and facilities, real estate signs, future development and directory signs.

d) SITE DEVELOPMENT STANDARDS

- Permitted density: 6.5 dwelling units per acre.
- Lot area, minimum per unit: 4,500 square feet providing a 4,500 square foot pad area is maintained exclusive of side and rear yard slope areas. (Note: Minimum lot area must be maintained regardless of lot width or depth).
- Lot width, minimum per lot: 40 feet. (Note: cul-de-sac lots or pie-shaped lots must maintain the minimum lot width at the front setback line.)
- Lot depth, minimum per lot: 90 feet as measured from the right-of-way line.
- Building setbacks.
 - Front: 20 feet as measured from the right-of-way line, or 18 feet as measured from the back of walk, whichever is greater.
 - Side: 5/7.5 feet, excepting zero lot line product/design. (Note: The 5/7.5 feet criteria indicates a staggered setback condition in order to achieve a varied appearance, except that structures with a corner lot orientation shall maintain a 10 foot setback for one story structures and a 15 foot setback for two story structures.)
 - Rear: 15 feet. (Note: minimum 10 feet for accessory structures.)
- Building height, maximum: 32 feet.
- Building coverage, maximum: 45 percent.
- Parking.
 - Enclosed garage: 2 spaces.
 - On-site guest parking: 2 spaces.

B. Neighborhood Commercial

Neighborhood commercial includes Planning Area 12, a 11.5 acre site with 125,000 square feet of building area.

a) PRINCIPAL USES AND STRUCTURES PERMITTED

- Neighborhood/convenience stores and shops for the retail sales of groceries, pharmaceutical, sundries, liquor and other such items.
- Business services including dry cleaning and laundering, barber shops and salons, home appliance repairs, shoe repair, postal and printing, and other such services.
- Food services including restaurants, delicatessens, ice-cream parlors, fast-food outlets, and other such uses.
- Financial institutions such as banks and credit unions.
- Professional office uses.
- Other uses of similar character and scale as determined by the Director of Planning.

C. Industrial

Industrial includes Planning Area 11, a 50.3 acre site.

a) PRINCIPAL USES AND STRUCTURES PERMITTED

- Research and Development.
- Warehousing/Distribution.
- Light Industrial.
- Support Commercial.
- Other public buildings and facilities as determined by the City of Beaumont. (Note: No outside storage unless completely screened as approved by the Planning Director).

b) ACCESSORY USES AND STRUCTURES PERMITTED

- Displays, and storage incidental to a permitted principal use.
- Fences, walls, and trash enclosures.
- Signs.
- Security and construction offices during construction.

c) SITE DEVELOPMENT STANDARDS

- Individual building sites may not exceed a lot coverage of 50 percent.
- Building height, maximum: 40 feet or 3 stories, whichever is less.
- Building setbacks: Adjacent to public streets, 25 feet from the ultimate right-of-way line, except that unsupported roofs or awnings, eaves, cornices, chimneys, balconies and other similar architectural features may project 5 feet into the required setback. Entire setback area to be landscaped.
- Lighting: All lighting, interior and exterior, shall be directed towards commercial buildings and parking, and, directed away from residential or open space uses.
- Parking: Per City of Beaumont Municipal Code.
- Minimum of 8 percent site landscaping.

D. Open Space/Recreation Categories

a) PRINCIPAL USES AND STRUCTURES PERMITTED

- Active recreation uses, park, within the paseo sports Planning Area 7 only.

Tennis Courts, basketball, racquetball courts, and other such sports courts.

Swimming pool, spa, and associated facilities.

Baseball, softball, soccer, and other such sports fields.

Tot lots, playgrounds, and other such children's play areas.

Outdoor amphitheater.

Recreation building.

Other recreation facilities as determined by the City of Beaumont.

- Passive recreation facilities: trails, benches, etc., within the respite park, Planning Area 8.

b) *ACCESSORY USES AND STRUCTURES PERMITTED*

- Restroom facilities.
- Maintenance yard.
- Fences, walls, and trash enclosures.
- Signs.
- Security and construction offices during construction.

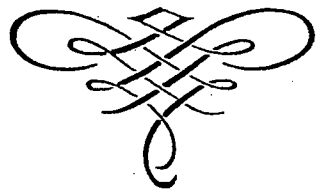
c) *USES AND STRUCTURES PERMITTED SUBJECT TO A CONDITIONAL USE PERMIT (PLANNING AREA 7 ONLY)*

- Sale of alcoholic beverages, dancing and live entertainment.

d) *SITE DEVELOPMENT STANDARDS*

- Recreation Building.
Building height, maximum: 35 feet or 2 stories, whichever is less.
- Building setbacks.
Adjacent to public streets: 50 feet from the ultimate right-of-way line, except that unsupported roofs or awnings, eaves, cornices, chimneys, balconies and other similar architectural features may project 5 feet into the required setback.

Chapter VI
Administration and Implementation



VI. Administration and Implementation

The administration and implementation section of this document is provided herein to further define the relationship between the Specific Plan, City of Beaumont development codes and standards, and the process by which Heartland will achieve additional discretionary approval as the project proceeds through the remaining phases of the development process. This section of the Specific Plan text will also outline various mechanisms by which infrastructure improvements required of Heartland will be financed in whole or in part.

A. Administration

The following discussion will define the relationship between the Heartland Specific Plan entitlement and the process by which subsequent approvals and concomitant entitlements are achieved as the Heartland project proceeds through the remaining stages in the development process.

1. HEARTLAND SPECIFIC PLAN

The Heartland Specific Plan, as filed with the City of Beaumont Planning Department upon its approval/adoption, will become the primary document governing land use regulations over the Heartland Specific Plan area. It is in this regard that the Heartland Specific Plan serves to further refine the City of Beaumont's General Plan Designation as it is applied to the subject site. In addition, the Heartland Specific Plan, through the Specific Plan Area (SPA) zoning process, will provide the subject site's zoning designation pursuant to Section 17.36 of the City of Beaumont Municipal Code.

2. REGULATORY EFFECTS

Whenever the provisions and development standards contained herein are in conflict with equivalent standards contained in the City of Beaumont Zoning Ordinance, the provisions of the Heartland Specific Plan shall take precedence. Where the Specific Plan does not address a particular standard, the applicable City code/ordinance shall apply.

3. INTERPRETATION

Unless otherwise provided, should ambiguities occur concerning the content and appropriate application of the Heartland Specific Plan, said ambiguities shall be resolved by the Planning Director of the City of Beaumont or his/her

designee, in a manner most consistent with the intent, goals and policies set forth in the Specific Plan.

B. Types of Approvals and Permits

As the Heartland Specific Plan proceeds through the remaining phases of the entitlement process, additional site-specific and/or planning area specific proposals will be filed subject to one of four types of approvals/permits pursuant to the guidelines outlined herein.

1. SUBDIVISION MAPS

Projects requiring a tentative tract map and/or tentative parcel map(s), shall be submitted in accordance with the procedures of the Subdivision Map Act of the State of California. The implementation section that follows discusses the filing procedures and process for subdivision maps.

2. CONDITIONAL USE PERMITS

Conditional use permits are required when certain uses, as listed in the development regulations and standards section, require additional discretionary approval and consideration, and shall be submitted in accordance with the procedures of the City's Municipal Code Section 17.70.

3. PLOT PLAN REVIEW

A plot plan review, pursuant to Section 5, shall be required for any specific development proposal for which plot plan approval is not a part of the subdivision map process. A plot plan review shall be required and follow the same principles outlined in Sections 17.36 and 17.70 of the Municipal Code.

4. PUBLIC USE PERMITS

Public use permits are required for uses stated in Section 17.70 of the Municipal Code.

5. SPECIAL CIRCUMSTANCES

For projects or circumstances requiring a variance or modification to the development standards contained herein, alterations in unit count between

planning areas is permitted with the condition that the total number of units does not exceed 1,224 units, as described in Section D of this chapter.

C. Implementation

As the Heartland Specific Plan proceeds through the remaining phases of the entitlement process, subsequent development proposals shall be processed in accordance with the implementation measures as outlined herein.

1. ENVIRONMENTAL REVIEW FOR RESIDENTIAL, COMMERCIAL AND INDUSTRIAL PROJECTS

An Environmental Impact Report (EIR) was prepared in accordance with the California Environmental Quality Act (CEQA) and the City of Beaumont rules to implement (CEQA). The Final Environmental Impact Report will be certified by the Beaumont City Council in conjunction with the adoption of the Specific Plan. The EIR serves as the basis by which the environmental impacts associated with the remaining phases in the development process, i.e. tentative tract maps, grading permits, etc., will be evaluated. In this regard, implementing subdivisions, plot plans, etc., will require an environmental assessment pursuant to CEQA. However, providing the development proposal is consistent with the Specific Plan and within the scope of the EIR, the environmental review process in most, if not all, instances will conclude with a negative declaration and as such, a new, subsequent and/or supplemental EIR will not be required. In addition, amendments to the Specific Plan that are found to be consistent with one of the land use alternatives, pursuant to the mandatory CEQA topics, can also be granted a negative declaration providing the land use alternative has been evaluated with an adequate level of environmental review.

2. SUBDIVISION MAP - TENTATIVE TRACT/PARCEL MAPS

The subdivision of property within Heartland shall be achieved by the processing of a tentative tract map, vesting tentative tract map, parcel map, or vesting parcel map, in accordance with the procedures of the Subdivision Map Act and the City of Beaumont Subdivision Ordinance. Any subdivision map, including those prepared for the purposes of conveying or financing a parcel or parcels of land, which does not create a legal building site or does not authorize any other development, will be subject to City Council approval. Any final map prepared for such purposes shall clearly bear the notation that it is for financing or conveyance purposes only, and that no development is authorized by the recordation. These financing/conveyance subdivision or parcel maps will be submitted for approval prior to individual plot plan and tentative tract map approval.

A vesting tentative map is a map which confers a vested right to proceed with residential development on a legal building site, created by a final map or parcel map, for a specified time after recordation. A vesting map is limited to development of the property per the applicable regulations in existence at the time of approval of the vesting tentative map, or for the life of the Development Agreement.

Subdivision maps filed for individual planning areas as shown in the Land Use Plan and as conveyed by the underlying "master maps," shall contain the guidelines for architecture details and landscaping. These subdivision plans will be approved by the Planning Commission.

3. PLOT PLAN REVIEW

Plot plans are included within the term "plot plan review." The purpose of a plot plan review is to provide for either the administrative approval of detailed development plans for a proposed use, or to insure that a proposed development complies with all applicable regulations of the Specific Development regulations to be checked as a part of issuance of a plot plan review including setbacks, landscape areas, building type, parking and other requirement under the development regulations of the Specific Plan, or as determined by The Planning Director or his/her designee.

The plot plan review is a review of a detailed plan of development, and shall include, but not be limited to, the following:

- a) A description of the use(s) and operating characteristics.
- b) A plot plan showing the location of all uses.
- c) Supplementary exhibits, as necessary, to show other information which may be required, such as building elevations, landscape areas and grading.

4. CONDITIONAL USE PERMIT

The conditional use permit process is intended to provide for the resolution of major project related issues by allowing discretionary review of certain types of development, to insure that the project or use is appropriate. The purpose of a conditional use permit is to provide for the public review of detailed plans for a proposed use or development project. Proposed uses not specifically identified as either being permitted or prohibited under the development regulations shall be subject to the issuance of a conditional use permit by the Planning Commission in accordance with this section.

The conditional use permit, being a precise plan of development, shall be subject to the application requirements of the City. As with the plot plan

review, conditions of approval shall be limited to conditions appropriate for the mitigation of direct and immediate impacts of the project, determined in such a manner as to effectuate the policies set forth in this plan.

5. PUBLIC USE PERMIT

A Public Use Permit shall be required for the establishment of any use intended for the public. Such uses include churches, educational institutions, government uses, hospitals, and other related facilities, public utilities, half-way houses and homes for the aged or children. The procedure for processing a Public Use Permit shall be consistent with the City of Beaumont Municipal Code Section 17.70.100.

D. Amendments to the Specific Plan

It is the intent of this Chapter to set criteria for interpretation of the Heartland Specific Plan, and to define types of changes that will require minor modifications and administrative approvals to the Specific Plan. Minor modifications to the approved Specific Plan are allowed at the discretion of the Planning Director or his/her designee. Modifications to the Specific Plan must be consistent with the purpose and intent of the originally approved Specific Plan. All modifications to the approved Specific Plan, other than minor changes, are to be processed as a Specific Plan Amendment. All major changes to the approved Heartland Specific Plan, other than minor modifications, shall be processed as Specific Plan Amendments in accordance with the City of Beaumont Municipal Code.

The following changes to the Specific Plan may be achieved administratively without amending the Specific Plan:

1. UNIT TRANSFER

Transfer of dwelling units and density transfer from one planning area to another, while maintaining the maximum overall dwelling unit number and overall density established by this Specific Plan, providing the density transfer does not exceed 10 percent of the original density.

2. NEW INFORMATION

The addition of new information to the Specific Plan maps or text that does not change the effect of any regulation. The new information may include more detailed, site specific data. If this information demonstrates that development area boundaries are inaccurately designated, based upon the goals and objectives of the plan, said boundaries may be adjusted to reflect a

more accurate depiction of on-site conditions, without requiring a Specific Plan Amendment. Administrative changes do not require amendments to the Specific Plan and may be approved by the Planning Director. Changes to the community infrastructure such as drainage systems, roads, water and sewer systems which do not have the effect of increasing or decreasing capacity.

3. ADMINISTRATIVE CHANGES TO THE SPECIFIC PLAN

As implementing development proposals within Heartland progresses, it may be demonstrated that certain detail changes are appropriate in the Specific Plan. It is intended that the Specific Plan provide a certain degree of flexibility with respect to the details of project development, as well as those items discussed in general terms in the Specific Plan. If and when it is determined that changes or adjustments are necessary or appropriate, these changes or adjustments shall be made as an administrative procedure approved by the Planning Director or his/her designee. After such administrative change has been approved, it shall be attached to the Specific Plan as an addendum, and may be further changed and amended from time to time as necessary. Any such administrative changes do not require a Specific Plan Amendment. If at some juncture in the development process the Beaumont Unified School District should decline the 9.2 acre school site for development as an elementary school facility, the project proponent will reserve the right to develop the 9.2 acre planning area in a manner consistent with the medium density residential land use category. The conversion from school facility to medium density residential will concurrently permit a corresponding increase in the number of dwelling units permitted within the Specific Plan by a factor of 60 dwelling units: 9.2 acres X 6.5 du/acre = 60 dwelling units.

Chapter VII
General Plan Consistency

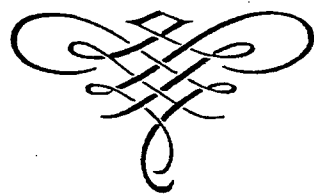


EXHIBIT "B"

HEARTLAND SPECIFIC PLAN CONDITIONS OF APPROVAL

GENERAL CONDITIONS

1. The following conditions of approval are for the HEARTLAND SPECIFIC PLAN and consist of Conditions 1 through 37 inclusive.
2. The Heartland Specific Plan shall consist of the following, components as approved through City of Beaumont City Council Resolution No. 94-____.
 - a. Approved Heartland Specific Plan Text.
 - b. Final Environmental Impact Report and Mitigation Monitoring Program
 - c. Exhibit "B": Specific Plan Conditions of Approval
3. If any of the following conditions of approval differ from the specific plan text or exhibits, the conditions enumerated herein shall take precedence.
4. Mitigation measures for impacts to the Beaumont Unified School District and any other districts which may ultimately serve the project shall be identified prior to the approval of implementing tentative subdivision maps and plot plans in accordance with the State laws and City Council policies in effect at the time of application submittal.
5. The development standards contained in the approved Specific Plan shall become the prevailing land use regulations for the areas contained within the Heartland Specific Plan. These regulations will have full force of the Zoning Ordinance of the Beaumont Municipal Code through application of the SPA (Specific Plan Area) Zone. Where conflicts exist between approved Specific Plan and the Beaumont Zoning Ordinance, the Specific Plan regulation shall prevail. Subject to the vesting effect of the Development Agreement, where conflicts existing between the Specific Plan and the provisions of the Municipal Code, other than the Zoning Ordinance, the provisions of the Municipal Code shall prevail.
6. Development applications for development portions of the Specific Plan area which incorporate common areas shall be accompanied by design plans for the common area. Such plans shall specify the location and extent of landscaping and irrigation systems. Additionally, all circulation components (vehicular, pedestrian and/or equestrian) shall be

HEARTLAND SPECIFIC PLAN
Conditions of Approval
Page 2

indicated, and the approximate locations of structures or groups of structures shall be indicated.

7. A parcel map filed for the purposes of phasing or financing shall not be considered a development application for the purpose of these conditions.
8. The Planning Director may require special studies or reports in connection with implementing development applications for each planning area, if and to the extent reasonably necessary for appropriate review of a development application or as required under applicable law (subject to the vesting effect of the previously enacted Development Agreement). Such reports may include, where appropriate:

Study/Report

- a. Hazardous Waste Investigation Study
 - b. Preliminary Soils and Geotechnical Report
 - c. "Spring" Biological Survey, if deemed necessary
 - d. Erosion and Sedimentation Control Plan
 - e. Streetscape, parkway and median landscape plan
 - f. Fencing and wall plan
 - g. Traffic and circulation assessment to document adequacy/function of proposed improvements
 - h. Illustration of wildlife corridors on the map or other entitlement document or exhibit
 - i. Fuel modification plan
 - j. Acoustical Study
 - k. Cultural Resource Assessment
9. Common areas identified in the Specific Plan shall be owned and maintained as follows:
 - a. One or more permanent master maintenance organization(s) shall be established for

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all common areas, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. Such organizations may be public or private. Assumption of such responsibilities by existing local, area-wide or regional organizations shall satisfy this condition provided that such organizations are legally and financially capable of assuming such responsibilities. Private neighborhood associations may be established for residential developments containing common areas.

- b. Unless otherwise provided for in these conditions of approval, or permitted by the Planning Director, the relevant maintenance organization shall be established and common areas shall be conveyed to the maintenance organization not later than thirty days after completion of construction of common area improvements.

10. If any of the permanent master maintenance organizations referenced in Condition of Approval No. 9 is a public organization, the Developer shall comply with the following conditions:

- a. Not later than thirty days after completion of construction of the relevant common area improvements, the Applicant shall convey to such organization or the City, as appropriate, fee simple title to all common or common open space areas, free and clear of all liens, due but unpaid taxes, assessments, leases (recorded and unrecorded) and easements, except those easements which in the reasonable judgment of the City would not interfere with the intended use of such area. As a condition precedent to the City accepting title to such areas, the subdivider shall submit the following documents to the Planning Director and City Attorney:
 - 1) A declaration of covenants, conditions and restrictions; and
 - 2) A sample form of document for conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference.
- b. The declaration of covenants, conditions and restrictions submitted for review shall (i) provide for a term of not less than 60 years, (ii) provide for the establishment of a property owners' association comprised of the collective owners of any applicable common areas and (iii) contain provisions substantially in the following form:
 - 1) *The property owners' association conditionally required herein shall, if not then formed or in good standing, be activated, by incorporation or otherwise, at the request of the City of Beaumont, and thereafter the*

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16. Prior to the submittal of any subsequent development applications or the issuance of any permits twenty (20) copies of the final specific plan document shall be submitted to the Planning Department for distribution. The documents shall include the final City Council resolution, the final Specific Plan conditions of approval, and the Final EIR, and any corrections, modifications or additions resulting from the hearing and approval process.
17. The Heartland Specific Plan shall remain unmodified (except for modifications requested by the Applicant and approved by the City) for 20 years. Should the entire project not be built out in that period of time, the City shall be entitled to adopt specific plan amendments for any portion of the project which has not been constructed within 20 years.
18. The Applicant (or its successor-in-interest, as the case may be) shall defend, indemnify, and hold harmless the City of Beaumont, its agents, consultants, officers, and employees from any third-party claim, action or proceeding against the City of Beaumont or this agents, consultants, officers, or employees to attach, set aside, void or annul an approval of the City of Beaumont, its advisory agencies, appeal boards or legislative body concerning the Heartland Specific Plan. The City of Beaumont will promptly notify the Applicant or its successor of any such claim, action, or proceeding against the City of Beaumont and will cooperate fully in the defense.
19. Heartland shall defend, indemnify and hold harmless the City of Beaumont and its employees, agents, consultants, officers and contractors from any third-party claim, action or proceeding related to the environmental documentation pursuant to the California Environmental Quality Act associated with the Heartland Specific Plan.
20. In accordance with Section 711.4 of the California Fish and Game Code, the Applicant/subdivider is obligated to pay a filing fee to defray cost incurred by the Department of Fish and Game in managing and protecting fish and wildlife trust resources. The Applicant/subdivider is also obligated to pay a documentary handling fee to defray costs incurred by the City of Beaumont in implementing the Department of Fish and Game filing fee program. These fees shall be paid to the County Clerk if the County of Riverside at the time of filing a notice of determination pursuant to Section 21152 of the Public Resources Code. Applicant shall not be entitled to exercise its rights under the Specific Plan or the Development Agreement until such fees have been paid. The amount of the fees shall be in accordance with legally adopted fees at the time of the filing of the notice of determination.

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- b. Lighting of streets, walkways, bikeways, and commercial and industrial areas.
 - c. Visibility of doors and windows from the street and between buildings.
 - d. Fencing heights and materials.
25. In the event that, during or following grading of the project site or portions thereof, economic or other conditions prevent the Developer from continuing with the project within a reasonable amount of time, as determined by the City, the City shall so notify the Developer who shall contact the City Planning Department to identify necessary activities that the Developer must implement to protect public safety and minimize/prevent environmental degradation, particularly due to wind and water erosion. The Developer shall be required to reimburse the City for the cost of activities to satisfy this condition.
26. Density transfer within the various components of the project and planning areas shall be subject to the limitations contained in the Administrative section of the Heartland Specific Plan. In conjunction with any request to transfer density, the Developer shall submit a report outlining the status of the entire project in terms of (a) areas developed and undeveloped, (b) density previously transferred, and (c) quantitative impact on remaining development entitlement allocations.
27. Each developer shall use its best efforts to ensure that all construction contractors and subcontractors properly dispose of all wastes generated in permitted landfills or with a licensed recycling company. If any improper dumping of construction waste occurs, the developer of the portion of the Specific Plan area from which such wastes were taken shall guarantee reimbursement to the City of costs incurred by it associated with clean up, proper disposal, any necessary revegetation and legal penalties and remedies.
28. Construction areas shall be fenced as required by the City to preclude the creation of an attractive nuisance and to limit access to and disturbance of sensitive habitat areas.

PHASING CONDITIONS

29. Construction of the development permitted hereby, including recordation of final subdivision maps, may be conducted progressively in stages, provided adequate vehicular access, infrastructure and public services are provided for all dwelling units and non-residential land uses in each stage of development, and further, provided that such phase of development conforms substantially with the intent and purpose of the Specific Plan Master Phasing Program and subsequent amendment as determined by the Planning Director.

PARKS AND RECREATION CONDITIONS

30. Development of the property shall be accompanied by the concurrent phased dedication and improvement of not less than 25.3 acres of parks, as specified in the Park and Recreation Plan of the Heartland Specific Plan. That phased dedication shall be to the City for maintenance by a Community Services District or other suitable maintenance entity, and shall occur in increments as follows:

a. Paseo Sports Park (Planning Area No. 7)

Development of this park facility shall coincide with the phasing of the residential components of the project. The specific component of Planning Area No. 7 which adjoins Planning Area No. 1 shall be completed on or before the release of occupancy for the 50th dwelling unit in the project. The portion of Planning Area No. 7 west of the loop road, containing the soccer field and other improvements, shall be completed before the release of the 500th dwelling unit in the project. Remaining portions of Planning Area No. 7 park improvements shall be completed in conjunction with adjoining residential development on either side of the linear park, as approved by the Director of Planning.

b. Respite Park (Planning Area No. 8)

Park improvements stipulated for Planning Area No. 8 shall be completed or bonded for prior to the recordation of a subdivision map (exclusive of a financing and conveyance map) for Planning Area No. 11.

31. Prior to the dedication of any park and recreation areas the Applicant shall submit and the Planning Director shall approve for each dedication a detailed development plan for proposed park and recreation improvements. Each development plan shall include:

- a. Site Plan
- b. Grading Plan
- c. Landscape, Lighting and Irrigation Plan
- d. Architectural Plans, where appropriate
- e. Detailed Cost Estimates
- f. Other Plans as determined appropriate by the Planning Director

32. The park sites required through Condition No. 30 shall be delivered in a finished condition, with grading, utilities and public infrastructure improvements fully in place. In addition, Applicant shall be solely responsible for all improvements at each of the park

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sites stipulated in Condition No. 30 in accordance with the Specific Plan. Each completed park site shall be delivered prior to issuance of occupancy permits for the respective phase of the Specific Plan.

33. Prior to recordation of the first implementing subdivision map, Applicant shall obtain City and LAFCO approval for the formation of a Community Services District or other appropriate financing mechanism to ensure the perpetual maintenance of dedicated lands for parks and recreational purposes, and for maintenance of other landscaped areas contained within public rights-of-way, or held in fee title by the City of Beaumont. In lieu of a Community Services District, Applicant may provide or obtain approval for an alternate financing mechanism for such purposes reasonably acceptable.

INFRASTRUCTURE CONDITIONS

34. Drainage and flood control facilities and improvements shall be provided in accordance with Riverside County Flood Control and Water Conservation District requirements.
35. An amendment to CEQA required the preparation of a program to ensure that all mitigation measures are fully and completely implemented. The Environmental Impact Report (EIR) prepared for the Heartland Specific Plan imposes certain mitigation measures on the project. Certain conditions of approval for the Heartland Specific Plan constitute self contained reporting/monitoring programs for certain mitigation measures. At the time of approval of subsequent development applications, further environmental reporting/monitoring programs may be established if additional mitigation is determined to be necessary through further environmental review. The mitigation monitoring program for the Heartland Specific Plan EIR is hereby incorporated and performance of the mitigation measures set forth therein is a condition of approval of the Specific Plan.
36. Through Community Facilities District No. 93-1, and/or through payment of development impact fees, the Developer shall be responsible for funding the project's fair share infrastructure and facility costs, as will be determined by the city of Beaumont Comprehensive Public Facilities Financing Plan.
37. It is recognized that the proposed freeway interchange at Potrero Boulevard is in the conceptual design stage and that the precise physical configuration will be determined at a later date. Minor adjustments to Planning Area boundaries may be necessary, and the Director of Planning shall be empowered to make minor adjustments towards this end administratively.

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38. Special concerns have been identified with respect to Planning Area No. 5, which directly adjoins State Route 60. In conjunction with submittal of a subdivision application involving this Planning Area, a detailed site planning, architectural and landscape package shall be included for the review and approval of the Planning Commission. The purpose of this submittal shall be to clearly demonstrate that the project will create a positive visual image, upon entering Beaumont, from State Route 60. Furthermore, it shall be demonstrated that the products proposed, site and architectural design, and lot size and layout result in a quality, well-planned neighborhood.

Chapter IX
City Council Resolution



VII. General Plan Analysis

A. *Introduction*

The Heartland Specific Plan has been designed in response to the subject site's physical and environmental opportunities and constraints. Another critical factor in the design and implementation of the Heartland Specific Plan is the project's relationship to the City of Beaumont's General Plan. In this regard, the proposed project will serve to further refine the General Plan designation of the subject site through the Specific Plan process. As such, this section of the Specific Plan document will evaluate the proposed project relative to the goals, policies and objectives of the City of Beaumont's General Plan. Towards this end, this section will state, verbatim, the General Plan policy of the City followed by an analysis of the Heartland Specific Plan's consistency with each of the respective General Plan policies. Where the City policies related to broader community issues which are not applicable to a site-specific proposal, the consistency response has been noted as a City of Beaumont function.

B. *General Plan Elements*

The City of Beaumont's General Plan consists of six major elements dealing with diverse topics such as natural and man imposed hazards, natural resources, cultural and historical resources, recreation and open space, community development, infrastructure and housing. Each of these topics or elements has a series of corresponding policies. The respective policy is shown below in italics with a consistency analysis for the Heartland Specific Plan followed immediately below each policy statement.

1. LAND USE ELEMENT

a) *POLICY:*

The purpose of the Balanced Land Use Policy is to ensure that planned employment and residential opportunities make progress toward a balance of jobs and workers, that adequate medical, dental, shopping and retail services are located within convenient distance of each residential planning area, that public services and facilities have adequate capacity to serve development, and that parks and recreation services are provided to meet existing and future demand.

CONSISTENCY:

The Heartland Specific Plan will provide a mechanism by which to develop the subject site in a comprehensive manner, as opposed to the "piece-meal" alternative. The Heartland Specific Plan will achieve a balanced

development by providing an appropriate mix of residential, commercial and industrial land use. 50.3 acres of industrial uses have been incorporated into the Specific Plan which will generate an estimated 1,408 jobs. A 11.5-acre community commercial center will also provide convenient retail opportunities for future residents as well as an estimated 493 jobs. The commercial center could potentially incorporate service commercial opportunities such as medical and dental facilities in addition to the more traditional retail establishments. Public services and facilities have been adequately sized to serve the development in addition to extensive park and recreation facilities to meet the needs of future residences within the Heartland development.

b) **POLICY:**

The purpose of the Phased Development Policy is to ensure that development coincides with the adequacy of public services and facilities, especially where the public health, safety and welfare are concerned. Proper phasing of new development within the designated General Plan capacity through the provision of public services and facilities development is necessary to ensure that new development will not overload the existing facilities or be allowed to be completed without adequate facilities.

CONSISTENCY:

Proper phasing of the Heartland Specific Plan has been accommodated and shown in the Phasing Section of the Specific Plan. The phasing concept is infrastructure dependent, as such, the thrust of the phasing plan is to provide the greatest amount of flexibility while insuring that a given area within the Specific Plan does not proceed ahead in the development process unless adequate infrastructure is available to accommodate the area in question.

c) **POLICY:**

The purpose of the Housing Densities Policies is to provide a wide range of housing densities that will permit a mix of housing opportunities, including both rental and ownership housing. The mix of densities is intended to make it possible to develop housing which is affordable to the labor force and offers those who work here a reasonable choice of living accommodations.

CONSISTENCY:

The Heartland Specific Plan has incorporated a wide range of lot sizes, which will produce varied densities and accommodate varied product types and housing opportunities.

d) **POLICY:**

The purpose of the Land Use/Transportation Integration Policy is to ensure that transportation planning is assimilated into the land use

planning process. The transportation system should support the land use plan as a whole, and individual circulation links should be in balance with localized land uses to provide an adequate transportation system for the City. When local or regional imbalances occur, appropriate improvements to the circulation system shall be provided or adequate project mitigation measures shall be developed.

CONSISTENCY:

The Heartland Specific Plan will provide a mechanism by which to develop the subject site in a comprehensive manner including the incorporation of a backbone circulation system that will implement the relevant components of the City's circulation element. The impacts of the Heartland Specific Plan from a transportation perspective have been evaluated in the environmental impact report document prepared in conjunction with the Specific Plan. It is in this regard that the integration of Land Use and Transportation have been evaluated and will be achieved through the Specific Plan/EIR process.

e) **POLICY:**

The purpose of the Commercial and Industrial Centers/Transportation Access Policy is to ensure that major commercial and industrial centers are convenient and accessible to existing or planned major highway and transit facilities. These centers act as traffic attractors. Accessibility should be enhanced by intensive corridors and increased public transit.

CONSISTENCY:

An 11.5-acre neighborhood commercial center has been incorporated into the Heartland Specific Plan design. At 11.5 acres, the Heartland commercial land use component does not meet the "major Commercial Center" criteria. However, the Heartland neighborhood commercial center is located at the project's major market entry and proximal to a planned state highway off-ramp. Given these conditions, the future commercial establishment will be oriented towards and accessible to, both residences of the Heartland development and commuters utilizing the State Highway 60 transportation corridor. With respect to industrial centers, the Heartland Specific Plan is proposing 50.3 acres of industrial land use. The Specific Plan's industrial component will front along San Timoteo Canyon Road for a distance of approximately 5,500 feet. San Timoteo Canyon Road has a General Plan classification of major highway. In addition, San Timoteo Road, in close proximity to the Heartland property, will be linked to State Highway 60 and Interstate 10 by way of two proposed corridors, both having a General Plan classification of primary highway. Consistent with the General Plan policies, the Heartland industrial center is very accessible to planned major highway and transit facilities to provide for the efficient movement of products, goods and services.

f) **POLICY:**

The purpose of the New Development Compatibility Policy is to ensure that new development is compatible with adjacent areas and that it provides either a land use buffer or transition with such areas. Sensitive treatment is required where one urban use transitions to another.

CONSISTENCY:

The Heartland property has a General Plan designation of Specific Plan (SP) with an overall residential density range of 2.4 - 4.1 dwelling units per acre (low density). The Heartland Specific Plan proposes an overall density of 2.5 dwelling units per acre and as such is consistent with the density permitted by the subject site's General Plan designation. Property to the east of Heartland also has a General Plan designation of Specific Plan (SP). However, the density permitted therein is 8.1 to 16.0 dwelling units per acre (high density). Property to the west of Heartland has a General Plan designation of "conservation." Therefore, consistent with the land use transition policies, the Heartland Specific Plan will provide a transitional density between the high density designated property to the east of Heartland and the conservation designated property to the west of Heartland.

g) **POLICY:**

The purpose of the Creative Design Concepts Policy is to encourage the use of innovative planning ideas that give variety to the character of development and solve site development problems. New design concepts can facilitate environmentally sensitive development and the economic and efficient provision of services and facilities. These design concepts would be implemented in preparing an overall design for the City and adoption of the following:

- *A design theme for entire City.*
- *Hillside development.*
- *Slump stone wall development in Specific Plans.*
- *The preservation of deodora trees on Beaumont Avenue and street trees throughout the City.*
- *A Parks/Open Space/City Beautification Concept Plan.*
- *Architectural and landscape standards for rural/vacant land.*

CONSISTENCY:

Heartland will provide for innovative and comprehensive planning through the Specific Plan of Land Use process. A wide range of residential densities and housing opportunities will be provided in response to regional market factors. Extensive design development guidelines and standards have been established for the various landscaping and architectural elements to be applied throughout the Specific Plan. Heartland's open space and recreation component will include a 23.9 acre paseo sports park, which can be accessed by every residential planning area within Heartland by non-vehicular means

such as pedestrian and bicycle. This design approach will play an important role in reducing traffic and air quality related impacts.

h) POLICY:

The purpose of the Enhancement of Environmental Policy is to ensure that all land use activities seek to enhance the physical environment, including the air, water, sound levels, landscape, and plant and animal life. This policy does not mean that environmental enhancement precludes development. It recognizes the need to improve both the manmade and natural environments. Where aspects of the natural environment are deemed to be rare, endangered or unique, this policy requires measures be taken to preserve these aspects. Specifically, a beautification policy would guide the design of scenic highways and other details for new developments in specific plans.

CONSISTENCY:

The Heartland Specific Plan provides for 92.2 acres of passive open space and conservation areas. The major focus of the passive open space component is the retention of San Timoteo Creek in a natural unchannelized condition. This area comprises 65.6 acres and traverses the entire Heartland site in an east/west direction. This design consideration will protect wetland and riparian resources located within the creek and maintain the creek's asset as a wildlife movement corridor.

i) POLICY:

The purpose of the Employment Development Policy is to intensify and accelerate development of employment uses. Implementation of employment development is essential to achieving balanced land use and resolving the inefficient usage of the transportation system, thereby mitigating deterioration in the level of service. Increased employment (trip attractions) will help reduce impacts on regional facilities, as well as distribute trips more evenly on the local network. The Development Monitoring Program (DMP) and associated Annual Monitoring Reports (AMRs) identify the phasing of development and infrastructure needs on an annual basis. Development of employment land uses should continue to be monitored through the DMP and AMR process to determine if the employment-to-dwelling units ratio is improving.

CONSISTENCY:

The Heartland Specific Plan will achieve a balanced land use base and contribute toward the employment development policy through the inclusion of commercial and industrial land uses. However, it should be noted that the above referenced policy is a City of Beaumont function, and as such the City is taking active steps in promoting the economic development of the community. Towards this end, the City of Beaumont has recently adopted a

major redevelopment project aimed at employment generation and revitalization of existing industrial and commercial areas.

j) **POLICY:**

TRANSITIONAL USE POLICY - *Transitional uses that are not specifically permitted by the Land Use Element (LUE) land use categories may still be deemed appropriate under certain circumstances and, therefore, may not require LUE amendments. The following are examples of circumstances under which transitional uses may be considered for specific sites.*

- *Where a conflict exists between the LUE land use category and policies contained within other General Plan elements.*
- *Where a conflict exists between the LUE land use category and a major LUE implementation policy.*
- *Where environmental conditions, such as high noise levels, traffic levels, or site configuration, render the site no longer suitable for the uses permitted by the LUE land use category.*

CONSISTENCY:

The implementation of this policy is a City of Beaumont function. The site may continue to be used on an interim basis for dry land farming activities until development proceeds.

2. **CIRCULATION ELEMENT**

a) **POLICY:**

DEVELOPMENT PHASING - *Development shall be phased in accordance with any applicable Comprehensive Phasing Plan (CPP).*

CONSISTENCY:

In conjunction with the Heartland Specific Plan document, a comprehensive Environmental Impact Report has also been prepared, which covers traffic/circulation impacts from both a local and regional perspective. As previously indicated, the phasing plan for the Heartland project is infrastructure dependent. As such, phases can only move forward through the development process if adequate infrastructure is available, including circulation improvements as prescribed in the Heartland environmental impact report document.

b) **POLICY:**

TRAFFIC LEVEL OF SERVICE POLICY - *Specific Plans should ensure that within 3 years of the issuance of the first use and occupancy permit for a development project, or within 5 years of the issuance of a finished grading permit or building permit for said development project, whichever occurs first, all improvements to arterial highway facilities to which the*

project contributes measurable traffic shall be constructed to attain Level of Service (LOS) "E" at the intersections under the sole control of the City.

CONSISTENCY:

The Comprehensive Traffic Study prepared in conjunction with the Heartland Specific Plan and related environmental impact report document has identified all arterial highway facilities to which the project will contribute measurable traffic. Heartland will contribute on a prorata share basis towards financing the design and construction of these facilities through participation in Community Facilities District (CFD) No. 93-1 and/or through traffic mitigation fees.

c) POLICY:

TRAFFIC IMPROVEMENT PROGRAMS - Comprehensive traffic improvement programs shall be established with Specific Plans to ensure that all new development provides necessary transportation facilities and intersection improvements as a condition of development approval. Participation in such programs shall be on a prorata basis and be required of all development projects except where an increased level of participation exceeding these requirements is established through development agreements.

CONSISTENCY:

Heartland has incorporated a comprehensive traffic improvement program as part of the Specific Plan and EIR process. As indicated in the discussion of the previous policy above, the Heartland project will be required to contribute its fair share of transportation improvements.

d) POLICY:

PUBLIC FACILITY PLANS - Comprehensive public facility plans have been established for water and wastewater facilities. Additional plans may be adopted by the City when required to program and finance public facilities. All specific plan and other major development projects shall participate in such plans on a prorata basis and as a condition of development approval except where an increased level of participation exceeding these requirements is established in development agreements.

CONSISTENCY:

The above referenced policy is a City of Beaumont function. However, it should be noted that Heartland will be participating on a prorata basis in the development of a comprehensive public facilities improvement program pursuant to CFD No. 93-1 and other applicable City programs.

e) **POLICY:**

PRIVATE STREET STANDARDS - The development of private streets may be preferred for new developments that have a special overall design concept, and therefore require control of access to enhance a certain neighborhood identification. To make certain that the street designs are constructed without creating emergency access traffic hazards, and that maintenance problems will be mitigated, standards shall be adhered to.

CONSISTENCY:

The Heartland Specific Plan does not include any access restricted land uses and as such no private streets are anticipated.

3. **HOUSING ELEMENT**

a) **POLICY:**

A choice of residential communities, within a reasonable distance of the individual's place of occupation, where the individual may develop a sense of identity and belonging, and satisfy physical, cultural and economical need for existing and future residents.

CONSISTENCY:

Heartland will develop as a master planned mixed-use development through the Specific Plan process. This effort will include the incorporation of comprehensive landscape and architectural design guidelines which will impart a project wide sense of place, identity and unification. With respect to the issue of providing residential communities with employment opportunities at a reasonable distance, the Heartland Specific Plan will provide the potential for close-at-hand employment opportunities through the inclusion of commercial and industrial land use.

b) **POLICY:**

A supply of housing that varies sufficiently in cost, design, style, tenure and type to meet the economic and social needs of every existing and future resident of the City.

CONSISTENCY:

By incorporating a diverse range of densities, Heartland will provide housing opportunities that will appeal to the region's varied housing market and allow the project proponent to maintain a viable project through the inevitable market changes.

c) **POLICY:**

Housing opportunities available to all income groups in all communities without discrimination on the basis of race, religion, ethnicity, sex, age, marital status, or household composition.

CONSISTENCY:

The Heartland Specific Plan does not include any product type that can be regarded as exclusionary. As such, Heartland will be developed in strict accordance with all anti-discrimination laws and regulations. In addition, Heartland will provide a significant amount of affordable housing through the inclusion of an entry level product inventory.

d) **POLICY:**

A structurally sound and well-maintained housing stock and residential neighborhoods with adequate and coordinated public and private services and facilities, clean air, quiet and pleasant surroundings, reasonable assurances of safety and security, and a meaningful sense of community life.

CONSISTENCY:

The Heartland property will develop in a comprehensive and coordinated manner through the Specific Plan of Land Use/EIR process. Utilizing the Specific Plan/EIR mechanism as an alternative to piece-meal development will ensure that the Heartland community possesses adequate public services and facilities, recreational opportunities and a high level of architectural and landscape design excellence. In addition, this effort will include the project proponent's participation in Community Facilities District (CFD) No. 93-1 as a mechanism by which to fund the design and construction of localized and regional infrastructure improvements.

4. **NATURAL RESOURCES ELEMENT**

a) **POLICY:**

The City shall coordinate a program to monitor the quantity and quality of water within the Beaumont/Cherry Valley Water District.

CONSISTENCY:

Water quality issues and mitigation measures are addressed in the Environmental Impact Report prepared in conjunction with the Heartland Specific Plan. However, this policy is a City of Beaumont function.

b) *POLICY:*

The reclamation of treated sewage effluent shall be encouraged (e.g., water golf courses, cemeteries, etc.)

CONSISTENCY:

The Heartland Specific Plan includes provisions for the use of treated effluent to be applied on open space, parks and common landscape areas.

c) *POLICY:*

The City shall recognize the need for aquifer recharge facilities (e.g., ponds, pumping, porous pavements, etc.)

CONSISTENCY:

As previously indicated, San Timoteo Creek bisects the subject site in an east-west direction. The creek will be retained in a natural condition and as such the creek's capacity for aquifer recharge will be maintained. The project, by participating in CFD 93-1, will assist in the funding of reclaimed water facilities and aquifer recharge potential.

d) *POLICY:*

The City shall promote the growth of "clean" industry which does not increase air pollution.

CONSISTENCY:

The Heartland Specific Plan incorporates 50.3 acres of industrial land uses. The industrial component will provide opportunities for uses that can be characterized as "light industrial" such as research and development (R & D) in combination with warehousing, office park and support/service commercial land uses.

e) *POLICY:*

Energy conservation shall be encouraged by incorporation of design standards for new development which minimizes the consumption of non-renewable energy resources. Developers are specifically encouraged to present innovative techniques to the City for review and consideration.

CONSISTENCY:

The Heartland Specific Plan street system has been laid out in a predominantly north-south direction. This design consideration will place the majority of residential structures in an east-west orientation, which maximizes the potential use of decentralized solar energy units for space heating and/or water heating applications. Alternative modes of transportation are encouraged and available through the provision of bike lanes, sidewalks, multiple-use trails and on-site pedestrian accessible park and recreation opportunities. Residential, commercial and industrial

structures anticipated within the Heartland Specific Plan shall conform to all Title 24 regulations relative to energy efficiency. The inclusion of a paseo sports park with pedestrian linkages to each of the residential planning areas will discourage vehicular use for inter-project activities.

f) **POLICY:**

The City shall initiate an active energy conservation program. This could be accomplished in conjunction with programs currently operated by the major utility companies. Incentives for developments which utilize conservation techniques to save energy and conserve resources would be provided.

CONSISTENCY:

This is a City of Beaumont responsibility.

g) **POLICY:**

The potential impact on Beaumont of wind energy generation technology in the San Gorgonio pass shall be assessed.

CONSISTENCY:

This is a City of Beaumont responsibility.

h) **POLICY:**

The use of reclaimed methane gas from the sewage treatment facilities should be investigated.

CONSISTENCY:

This is a City of Beaumont responsibility.

i) **POLICY:**

Existing agricultural uses shall be permitted to remain at the owner's prerogative. Transition of agriculture to more urbanized uses is expected, and is consistent with City objectives for the future.

CONSISTENCY:

The subject site has been historically used for dry land farming of grain crops. This activity continues to date and will be permitted to continue subsequent to the Specific Plan approval process in conformance with the above referenced policy.

5. PUBLIC SAFETY ELEMENT - SEISMIC SAFETY AND GEOLOGIC HAZARDS

a) *POLICY:*

Participate in the Southern California Earthquake Preparedness Project.

CONSISTENCY:

This is a City of Beaumont function.

b) *POLICY:*

Adopt ordinances, regulations and procedures which mandate the review, evaluation and restriction of land use due to geologic or seismic hazard.

CONSISTENCY:

This is a City of Beaumont function.

c) *POLICY:*

Establish (through the Southern California Earthquake Preparedness Project process and other resources) seismic design criteria and standards for transmission lines, water and sewage systems, bridges and highways, any structures housing necessary mobile units and support equipment and other vital resources which would be needed following an earthquake (e.g., "back-up" power generation facilities and water storage).

CONSISTENCY:

This is a City of Beaumont function.

d) *POLICY:*

To periodically update maps of existing faults, slide areas and other geographically unstable areas.

CONSISTENCY:

This is a City of Beaumont function.

e) *POLICY:*

To establish development standards for land use, new construction and proposed improvements to ensure proper design and location of structures.

CONSISTENCY:

This is a City of Beaumont function.

- f) **POLICY:**
To provide technical and policy information regarding geological and seismic hazards to developers, interested parties and the general public.

CONSISTENCY:
This is a City of Beaumont function.

6. **PUBLIC SAFETY ELEMENT - FIRE**

- a) **POLICY:**
To encourage periodic updating of fire hazard mapping and continue to analyze existing fire hazard data.

CONSISTENCY:
This is a City of Beaumont function.

- b) **POLICY:**
To establish improved development standards for location of new construction, structural design, emergency vehicular access and detection hardware.

CONSISTENCY:
This is a City of Beaumont function.

- c) **POLICY:**
To improve building code regulations to provide increased built-in fire protection.

CONSISTENCY:
This is a City of Beaumont function.

- d) **POLICY:**
To continue to improve the minimum water system design requirements for fire protection in wildland and remote areas.

CONSISTENCY:
The subject site is not located within a high fire hazard area or in an area that can be characterized as remote relative to established patterns of urban development. However, the Heartland Specific Plan design has incorporated a comprehensive backbone infrastructure package including an urban level water storage and distribution system to meet all domestic and fire flow requirements.

- e) **POLICY:**
To provide technical and policy information regarding structural and wildland fire hazards to developers, interested parties and the general public through all available media.

CONSISTENCY:
This is a City of Beaumont function.

- f) **POLICY:**
To increase public awareness through educational programs which promote fire safe practices and fire prevention.

CONSISTENCY:
This is a City of Beaumont function.

- g) **POLICY:**
To inform the public of fire department emergency services with special emphasis on prompt notification.

CONSISTENCY:
This is a City of Beaumont function.

- h) **POLICY:**
To encourage improvement of fire defense systems in hazardous areas.

CONSISTENCY:
This is a City of Beaumont function.

7. PUBLIC SAFETY ELEMENT - FLOOD PRONE AREAS

- a) **POLICY:**
To phase improvements consistent with funding capabilities: (1) which provide 100-year flood protection for residences and other non-floodproof structures; and (2) which complete links in the system that have not been provided by new development.

CONSISTENCY:
As previously indicated, phasing of the Heartland Specific Plan is infrastructure driven versus the more conventional sequential phasing approach. As such, any phase within the Heartland Specific Plan can move forward in the development process, providing adequate on-site and off-site infrastructure is available, including drainage and flood control facilities, to accommodate the phase in process. In terms of providing protection from a

100-year storm event, the most significant considerations are potential impacts associated with the San Timoteo Creek 100-year flood plain. Through the Environmental Impact Report process prepared in conjunction with hydrology analysis, the San Timoteo 100-year flood plain has been mapped and development of the Specific Plan has been designed to preclude development and associated grading from encroaching into the 100-year flood plain to the greatest extent possible.

b) POLICY:

To regulate development of major watercourses and floodplains through application of appropriate land use measures.

CONSISTENCY:

This is a City of Beaumont function.

c) POLICY:

To identify areas subject to inundation due to flood runoff.

CONSISTENCY:

This is a City of Beaumont function.

d) POLICY:

To provide technical and policy information regarding flood hazards to developers, interested parties, and the general public.

CONSISTENCY:

This is a City of Beaumont function.

e) POLICY:

To monitor and evaluate studies of the use of non-structural alternatives, including more compatible land use planning adjacent to watercourses, for flood control purposes.

CONSISTENCY:

This is a City of Beaumont function.

f) POLICY:

To create design criteria which minimize or mitigate impacts associated with crossing of floodplains by development.

CONSISTENCY:

This is a City of Beaumont function. However, the Heartland Specific Plan has been designed to minimize encroachment into the San Timoteo flood plain.

8. PUBLIC SAFETY ELEMENT - DUST/WIND

a) *POLICY:*

Clearing only that acreage which is absolutely necessary during windy periods.

CONSISTENCY:

Grading will be phased and timed to avoid unnecessary exposure during windy periods such as months that are particularly prime to a Santa Ana condition.

b) *POLICY:*

Maintaining a sprinkler irrigation system capable of being operated 24 hours per day if the need arises.

CONSISTENCY:

In conjunction with grading plans, an approved erosion control program will be prepared and implemented during the grading operation. The erosion control plan may incorporate sprinkler irrigation or other equally effective watering techniques and methods determined to be effective for erosion control.

9. PUBLIC SAFETY ELEMENT - CRIME PREVENTION

a) *POLICY:*

To determine those areas of investigation where land use regulation can most effectively reduce incidence of crime.

CONSISTENCY:

This is a City of Beaumont function.

b) *POLICY:*

To provide coordination to all agencies to assist in the prevention of crime.

CONSISTENCY:

This is a City of Beaumont function.

- c) **POLICY:**
To monitor and evaluate studies of crime prevention through land use and development standards to determine future regulations and programs.

CONSISTENCY:
This is a City of Beaumont function.

- d) **POLICY:**
To encourage development of programs and practices which incorporate crime prevention methods, techniques and experience into the planning process.

CONSISTENCY:
This is a City of Beaumont function.

- e) **POLICY:**
To coordinate land use proposal reviews with the Police Department to assure that police patrol services are adequately addressed.

CONSISTENCY:
This is a City of Beaumont function.

10. PUBLIC SERVICES AND FACILITIES ELEMENT

- a) **POLICY:**
DEVELOPMENT PHASING - Development shall be phased in accordance with any applicable Comprehensive Phasing Plan (CPP).

CONSISTENCY:
Proper phasing of the Heartland Specific Plan has been achieved and shown in the phasing section of the Specific Plan document. The phasing concept is infrastructure driven. As such, the thrust of the phasing plan is to provide the greatest amount of flexibility while insuring that a given component of the Specific Plan does not proceed ahead in the development process unless adequate infrastructure is available to accommodate the area in question.

- b) **POLICY:**
WATER/WASTEWATER - comprehensive water and wastewater management programs shall be established to ensure that all major development projects are required to participate on a prorata basis in the financing and construction of required facilities.

CONSISTENCY:

This is a City of Beaumont function. However, it should be noted that the Heartland Specific Plan is participating in Community Facilities District (CFD) No. 93-1, which will provide a mechanism by which to fund the design and construction of regional infrastructure improvements including domestic water storage and distribution systems and expansions/upgrades to the City of Beaumont's wastewater treatment facility. The project will also be subject to the City's Comprehensive Public Facilities Financing Plan (CPFFP), which will mandate fair share participation in regional improvements.

c) *POLICY:*

TRAFFIC LEVEL OF SERVICE POLICY - Specific Plans should ensure that within 3 years of the issuance of the first use and occupancy permit for a development project, or within 5 years of the issuance of a finished grading permit or building permit for said development project, whichever occurs first, all improvements to arterial highway facilities to which the project contributes measurable traffic shall be constructed to attain Level of Service (LOS) "E" at the intersections under the sole control of the City.

Intersections exempt from the above paragraph include facilities under the jurisdiction of the County, another city or the state.

CONSISTENCY:

The comprehensive traffic study prepared in conjunction with the Heartland Specific Plan and related environment impact report document has identified all arterial highway facilities to which the project will contribute measurable traffic. Heartland will contribute on a prorata share basis towards financing the design and construction of these facilities through participation in Community Facilities District (CFD) No. 93-1 and through the City of Beaumont's CPFFP.

d) *POLICY:*

TRAFFIC IMPROVEMENT PROGRAMS - Comprehensive traffic improvement programs shall be established with Specific Plans to ensure that all new development provides necessary transportation facilities and intersection improvements as a condition of development approval. Participation in such programs shall be on a prorata basis and be required of all development projects except where an increased level of participation exceeding these requirements is established through development agreements.

CONSISTENCY:

Heartland has incorporated a comprehensive traffic improvement program as part of the Specific Plan and EIR process.

e) **POLICY:**

PUBLIC FACILITY PLANS - Comprehensive public facility plans have been established for water and wastewater facilities. Additional plans may be adopted by the City when required to program and finance public facilities. All Specific Plan and other major development projects shall participate in such plans on a prorata basis and as a condition of development approval except where an increased level of participation exceeding these requirements is established in development agreements.

CONSISTENCY:

This is a City of Beaumont function.

VIII. Appendix A - Plant Materials Palette

BOTANICAL NAME

COMMON NAME

Trees - Evergreen

<i>Acacia baileyana</i>	Bailey Acacia
<i>Arbutus menziesii</i>	Madrone
<i>Arbutus unedo</i>	Strawberry Tree
<i>Brachychiton populneus</i>	Bottle Tree
<i>Calocedrus decurrens</i>	Incense Cedar
<i>Ceratonia siliqua</i>	Carob
<i>Citrinus species</i>	Citrus varieties
<i>Cupaniopsis anacardioides</i>	Carrot Wood
<i>Eucalyptus camaldulensis</i>	Red Gum
<i>Eucalyptus citriodora</i>	Lemon Scented Gum
<i>Eucalyptus Nicholii</i>	Willow-Leafed Peppermint
<i>Eucalyptus polyanthoemos</i>	Silver Dollar Gum
<i>Eucalyptus rudis</i>	Desert Gum
<i>Eucalyptus viminalis</i>	Manna White Gum
<i>Geijera pervifolia</i>	Australian Willow
<i>Hymenosporum flavum</i>	Sweetshade
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Maytenus boaria</i>	Mayten Tree
<i>Melaleuca leucadendra</i>	Cajeput Tree
<i>Olea europaea 'Fruitless'</i>	Fruitless Olive
<i>Pinus canariensis</i>	Canary Island Pine
<i>Pinus coulteri</i>	Coulter Pine
<i>Pinus eldarica</i>	Mondell Pine
<i>Pinus halepensis</i>	Allepo Pine
<i>Pinus pinea</i>	Stone Pine
<i>Pinus thunbergiana</i>	Japanese Black Pine
<i>Podocarpus gracilior</i>	Fern Pine
<i>Quercus agrifolia</i>	California Live Oak
<i>Quercus ilex</i>	Holly Oak
<i>Rhus lancea</i>	No Common Name
<i>Schinus molle</i>	California Pepper
<i>Schinus terebinthifolius</i>	Brazilian Pepper
<i>Ulmus parvifolia 'Drake'</i>	Evergreen Elm

BOTANICAL NAME**COMMON NAME****Trees - Deciduous**

<i>Albizia julibrissin</i>	Mimosa Tree
<i>Alnus rhombifolia</i>	White Alder
<i>Bauhinia variegata</i>	Purple Orchid Tree
<i>Chorisia speciosa</i>	Silk Floss Tree
<i>Cercis occidentalis</i>	Redbud
<i>Fraxinus velutina 'Modesta'</i>	Modesto Ash
<i>Fraxinus</i>	Evergreen Ash
<i>Ginko biloba</i>	Maidenhair Tree
<i>Jacaranda acutifolia</i>	Jacaranda
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree
<i>Koelreuteria paniculata</i>	Golden Rain Tree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Liquidambar styracifluz</i>	Sweet Gum
<i>Liriodendron tulipifera</i>	Tulip Tree
<i>Platanus acerifolia</i>	London Plane Tree
<i>Populus nigra 'Italica'</i>	Lombardy Poplar
<i>Prunus species</i>	Flowering Plum
<i>Pyrus kawakamii</i>	Evergreen Pear
<i>Salix babylonica</i>	Weeping Willow
<i>Tipuana tipu</i>	Tipu Tree

Shrubs

<i>Abelia 'Edward Goucher'</i>	Edward Goucher Abelia
<i>Acacia ongerup*</i>	No Common Name
<i>Acacia redolens*</i>	No Common Name
<i>Arctostaphylos species</i>	Manzanita
<i>Callistemon species</i>	Bottlebrush
<i>Ceanothus species</i>	California Lilac
<i>Cistus species</i>	Rockrose
<i>Cocculus laurifolius</i>	Snailseed
<i>Cortaderia selloana</i>	Pampus Grass
<i>Cotoneaster species</i>	Cotoneaster
<i>Euonymus japonica</i>	Everygreen Euonymus
<i>Hebe coed</i>	Veronica
<i>Ilex species</i>	Holly
<i>Lantana species</i>	Lantana
<i>Ligustrum japonicum</i>	Japanese Privet
<i>Mahonia aquifolium & 'Compacta'</i>	Oregon Grape
<i>Nandina domestica & 'Compacta'</i>	Heavenly Bamboo
<i>Nerium oleander</i>	Oleander

BOTANICAL NAME**COMMON NAME**

Osmanthus fragrans
Phormium tenax
Photinia Fraseri
Pittosporum tobira & 'Wheeler's Dwarf'
Pittosporum tobira 'Variegata'
Plumbago capensis
Podocarpus macrophyllus
Prunus caroliniana
Pyracantha species
Raphiolepis indica
Rhus ovata
Ribes sanguineum
Ribes speciosum
Ternstroemia gymnanthera
Xylosma congestum

Sweet Olive
 Flax
 Photinia
 Mock Orange
 No Common Name
 Cape Plumbago
 Yew Pine
 Carolina Laurel Cherry
 Firethorn
 Pink Indian Hawthorn
 Sugar Bush
 Pink Winter Currant
 Fuchsia - Flowering Gooseberry
 Ternstroemia
 Xylosma

Sub Shrubs

Agapanthus africanus
Arctostaphylos species
Ceanothus species
Hemerocallis species
Lonicera japonica 'Halliana'
Mimulus cardinalis
Moraea bicolor

Lily of the Nile
 Manzanita
 California Lilac
 Day Lily
 Hall's Honeysuckle
 Monkey Flower
 Fortnight Lily

Vines

*Bougainvillea spectabilis**
Doxantha unguis-cati
Ficus pumila
Gelsemium sempervirens
Jasminum mesnyi
Jasminum polyanthum
Lonicera japonica
Wisteria floribunda

Bougainvillea
 Cat's Claw Vine
 Creeping Fig
 Carolina Jasmine
 Primrose Jasmine
 No Common Name
 Japanese Honeysuckle
 Wisteria

BOTANICAL NAME**COMMON NAME****Ground Covers***Ajuga reptans**Arctostaphylos edmundsii**Baccharis pilularis* 'Twin Peaks'*Campanula poscharskyana**Gazania splendens* 'Mitsuwa Yellow'*Hypericum calycinum**Lonicera japonica**Nandina domestica* 'Harbour Dwarf'*Potentilla verna**Trachelospermum jasminoides**Rosemarinus officinalis*

Carpet Bugle

Little Sir Manzanita

Coyote Brush

Serbian Bellflower

Gazania

Aaron's Beard

Honeysuckle

Dwarf Heavenly Bamboo

Spring Cinquefoil

Star Jasmine

Rosemary

Chapter VIII
Final Conditions of Approval

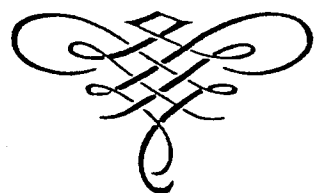


EXHIBIT "B"

HEARTLAND SPECIFIC PLAN CONDITIONS OF APPROVAL

GENERAL CONDITIONS

1. The following conditions of approval are for the HEARTLAND SPECIFIC PLAN and consist of Conditions 1 through 37 inclusive.
2. The Heartland Specific Plan shall consist of the following, components as approved through City of Beaumont City Council Resolution No. 94-____.
 - a. Approved Heartland Specific Plan Text.
 - b. Final Environmental Impact Report and Mitigation Monitoring Program
 - c. Exhibit "B": Specific Plan Conditions of Approval
3. If any of the following conditions of approval differ from the specific plan text or exhibits, the conditions enumerated herein shall take precedence.
4. Mitigation measures for impacts to the Beaumont Unified School District and any other districts which may ultimately serve the project shall be identified prior to the approval of implementing tentative subdivision maps and plot plans in accordance with the State laws and City Council policies in effect at the time of application submittal.
5. The development standards contained in the approved Specific Plan shall become the prevailing land use regulations for the areas contained within the Heartland Specific Plan. These regulations will have full force of the Zoning Ordinance of the Beaumont Municipal Code through application of the SPA (Specific Plan Area) Zone. Where conflicts exist between approved Specific Plan and the Beaumont Zoning Ordinance, the Specific Plan regulation shall prevail. Subject to the vesting effect of the Development Agreement, where conflicts existing between the Specific Plan and the provisions of the Municipal Code, other than the Zoning Ordinance, the provisions of the Municipal Code shall prevail.
6. Development applications for development portions of the Specific Plan area which incorporate common areas shall be accompanied by design plans for the common area. Such plans shall specify the location and extent of landscaping and irrigation systems. Additionally, all circulation components (vehicular, pedestrian and/or equestrian) shall be

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indicated, and the approximate locations of structures or groups of structures shall be indicated.

7. A parcel map filed for the purposes of phasing or financing shall not be considered a development application for the purpose of these conditions.
8. The Planning Director may require special studies or reports in connection with implementing development applications for each planning area, if and to the extent reasonably necessary for appropriate review of a development application or as required under applicable law (subject to the vesting effect of the previously enacted Development Agreement). Such reports may include, where appropriate:

Study/Report

- a. Hazardous Waste Investigation Study
 - b. Preliminary Soils and Geotechnical Report
 - c. "Spring" Biological Survey, if deemed necessary
 - d. Erosion and Sedimentation Control Plan
 - e. Streetscape, parkway and median landscape plan
 - f. Fencing and wall plan
 - g. Traffic and circulation assessment to document adequacy/function of proposed improvements
 - h. Illustration of wildlife corridors on the map or other entitlement document or exhibit
 - i. Fuel modification plan
 - j. Acoustical Study
 - k. Cultural Resource Assessment
9. Common areas identified in the Specific Plan shall be owned and maintained as follows:
 - a. One or more permanent master maintenance organization(s) shall be established for

HEARTLAND SPECIFIC PLAN

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all common areas, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. Such organizations may be public or private. Assumption of such responsibilities by existing local, area-wide or regional organizations shall satisfy this condition provided that such organizations are legally and financially capable of assuming such responsibilities. Private neighborhood associations may be established for residential developments containing common areas.

- b. Unless otherwise provided for in these conditions of approval, or permitted by the Planning Director, the relevant maintenance organization shall be established and common areas shall be conveyed to the maintenance organization not later than thirty days after completion of construction of common area improvements.

10. If any of the permanent master maintenance organizations referenced in Condition of Approval No. 9 is a public organization, the Developer shall comply with the following conditions:

- a. Not later than thirty days after completion of construction of the relevant common area improvements, the Applicant shall convey to such organization or the City, as appropriate, fee simple title to all common or common open space areas, free and clear of all liens, due but unpaid taxes, assessments, leases (recorded and unrecorded) and easements, except those easements which in the reasonable judgment of the City would not interfere with the intended use of such area. As a condition precedent to the City accepting title to such areas, the subdivider shall submit the following documents to the Planning Director and City Attorney:

- 1) A declaration of covenants, conditions and restrictions; and
- 2) A sample form of document for conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference.

- b. The declaration of covenants, conditions and restrictions submitted for review shall (i) provide for a term of not less than 60 years, (ii) provide for the establishment of a property owners' association comprised of the collective owners of any applicable common areas and (iii) contain provisions substantially in the following form:

- 1) *The property owners' association conditionally required herein shall, if not then formed or in good standing, be activated, by incorporation or otherwise, at the request of the City of Beaumont, and thereafter the*

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16. Prior to the submittal of any subsequent development applications or the issuance of any permits twenty (20) copies of the final specific plan document shall be submitted to the Planning Department for distribution. The documents shall include the final City Council resolution, the final Specific Plan conditions of approval, and the Final EIR, and any corrections, modifications or additions resulting from the hearing and approval process.
17. The Heartland Specific Plan shall remain unmodified (except for modifications requested by the Applicant and approved by the City) for 20 years. Should the entire project not be built out in that period of time, the City shall be entitled to adopt specific plan amendments for any portion of the project which has not been constructed within 20 years.
18. The Applicant (or its successor-in-interest, as the case may be) shall defend, indemnify, and hold harmless the City of Beaumont, its agents, consultants, officers, and employees from any third-party claim, action or proceeding against the City of Beaumont or this agents, consultants, officers, or employees to attach, set aside, void or annul an approval of the City of Beaumont, its advisory agencies, appeal boards or legislative body concerning the Heartland Specific Plan. The City of Beaumont will promptly notify the Applicant or its successor of any such claim, action, or proceeding against the City of Beaumont and will cooperate fully in the defense.
19. Heartland shall defend, indemnify and hold harmless the City of Beaumont and its employees, agents, consultants, officers and contractors from any third-party claim, action or proceeding related to the environmental documentation pursuant to the California Environmental Quality Act associated with the Heartland Specific Plan.
20. In accordance with Section 711.4 of the California Fish and Game Code, the Applicant/subdivider is obligated to pay a filing fee to defray cost incurred by the Department of Fish and Game in managing and protecting fish and wildlife trust resources. The Applicant/subdivider is also obligated to pay a documentary handling fee to defray costs incurred by the City of Beaumont in implementing the Department of Fish and Game filing fee program. These fees shall be paid to the County Clerk if the County of Riverside at the time of filing a notice of determination pursuant to Section 21152 of the Public Resources Code. Applicant shall not be entitled to exercise its rights under the Specific Plan or the Development Agreement until such fees have been paid. The amount of the fees shall be in accordance with legally adopted fees at the time of the filing of the notice of determination.

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- b. Lighting of streets, walkways, bikeways, and commercial and industrial areas.
 - c. Visibility of doors and windows from the street and between buildings.
 - d. Fencing heights and materials.
25. In the event that, during or following grading of the project site or portions thereof, economic or other conditions prevent the Developer from continuing with the project within a reasonable amount of time, as determined by the City, the City shall so notify the Developer who shall contact the City Planning Department to identify necessary activities that the Developer must implement to protect public safety and minimize/prevent environmental degradation, particularly due to wind and water erosion. The Developer shall be required to reimburse the City for the cost of activities to satisfy this condition.
26. Density transfer within the various components of the project and planning areas shall be subject to the limitations contained in the Administrative section of the Heartland Specific Plan. In conjunction with any request to transfer density, the Developer shall submit a report outlining the status of the entire project in terms of (a) areas developed and undeveloped, (b) density previously transferred, and (c) quantitative impact on remaining development entitlement allocations.
27. Each developer shall use its best efforts to ensure that all construction contractors and subcontractors properly dispose of all wastes generated in permitted landfills or with a licensed recycling company. If any improper dumping of construction waste occurs, the developer of the portion of the Specific Plan area from which such wastes were taken shall guarantee reimbursement to the City of costs incurred by it associated with clean up, proper disposal, any necessary revegetation and legal penalties and remedies.
28. Construction areas shall be fenced as required by the City to preclude the creation of an attractive nuisance and to limit access to and disturbance of sensitive habitat areas.

PHASING CONDITIONS

29. Construction of the development permitted hereby, including recordation of final subdivision maps, may be conducted progressively in stages, provided adequate vehicular access, infrastructure and public services are provided for all dwelling units and non-residential land uses in each stage of development, and further, provided that such phase of development conforms substantially with the intent and purpose of the Specific Plan Master Phasing Program and subsequent amendment as determined by the Planning Director.

PARKS AND RECREATION CONDITIONS

30. Development of the property shall be accompanied by the concurrent phased dedication and improvement of not less than 25.3 acres of parks, as specified in the Park and Recreation Plan of the Heartland Specific Plan. That phased dedication shall be to the City for maintenance by a Community Services District or other suitable maintenance entity, and shall occur in increments as follows:
- a. Paseo Sports Park (Planning Area No. 7)

Development of this park facility shall coincide with the phasing of the residential components of the project. The specific component of Planning Area No. 7 which adjoins Planning Area No. 1 shall be completed on or before the release of occupancy for the 50th dwelling unit in the project. The portion of Planning Area No. 7 west of the loop road, containing the soccer field and other improvements, shall be completed before the release of the 500th dwelling unit in the project. Remaining portions of Planning Area No. 7 park improvements shall be completed in conjunction with adjoining residential development on either side of the linear park, as approved by the Director of Planning.
 - b. Respite Park (Planning Area No. 8)

Park improvements stipulated for Planning Area No. 8 shall be completed or bonded for prior to the recordation of a subdivision map (exclusive of a financing and conveyance map) for Planning Area No. 11.
31. Prior to the dedication of any park and recreation areas the Applicant shall submit and the Planning Director shall approve for each dedication a detailed development plan for proposed park and recreation improvements. Each development plan shall include:
- a. Site Plan
 - b. Grading Plan
 - c. Landscape, Lighting and Irrigation Plan
 - d. Architectural Plans, where appropriate
 - e. Detailed Cost Estimates
 - f. Other Plans as determined appropriate by the Planning Director
32. The park sites required through Condition No. 30 shall be delivered in a finished condition, with grading, utilities and public infrastructure improvements fully in place. In addition, Applicant shall be solely responsible for all improvements at each of the park

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sites stipulated in Condition No. 30 in accordance with the Specific Plan. Each completed park site shall be delivered prior to issuance of occupancy permits for the respective phase of the Specific Plan.

33. Prior to recordation of the first implementing subdivision map, Applicant shall obtain City and LAFCO approval for the formation of a Community Services District or other appropriate financing mechanism to ensure the perpetual maintenance of dedicated lands for parks and recreational purposes, and for maintenance of other landscaped areas contained within public rights-of-way, or held in fee title by the City of Beaumont. In lieu of a Community Services District, Applicant may provide or obtain approval for an alternate financing mechanism for such purposes reasonably acceptable.

INFRASTRUCTURE CONDITIONS

34. Drainage and flood control facilities and improvements shall be provided in accordance with Riverside County Flood Control and Water Conservation District requirements.
35. An amendment to CEQA required the preparation of a program to ensure that all mitigation measures are fully and completely implemented. The Environmental Impact Report (EIR) prepared for the Heartland Specific Plan imposes certain mitigation measures on the project. Certain conditions of approval for the Heartland Specific Plan constitute self contained reporting/monitoring programs for certain mitigation measures. At the time of approval of subsequent development applications, further environmental reporting/monitoring programs may be established if additional mitigation is determined to be necessary through further environmental review. The mitigation monitoring program for the Heartland Specific Plan EIR is hereby incorporated and performance of the mitigation measures set forth therein is a condition of approval of the Specific Plan.
36. Through Community Facilities District No. 93-1, and/or through payment of development impact fees, the Developer shall be responsible for funding the project's fair share infrastructure and facility costs, as will be determined by the city of Beaumont Comprehensive Public Facilities Financing Plan.
37. It is recognized that the proposed freeway interchange at Potrero Boulevard is in the conceptual design stage and that the precise physical configuration will be determined at a later date. Minor adjustments to Planning Area boundaries may be necessary, and the Director of Planning shall be empowered to make minor adjustments towards this end administratively.

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38. Special concerns have been identified with respect to Planning Area No. 5, which directly adjoins State Route 60. In conjunction with submittal of a subdivision application involving this Planning Area, a detailed site planning, architectural and landscape package shall be included for the review and approval of the Planning Commission. The purpose of this submittal shall be to clearly demonstrate that the project will create a positive visual image, upon entering Beaumont, from State Route 60. Furthermore, it shall be demonstrated that the products proposed, site and architectural design, and lot size and layout result in a quality, well-planned neighborhood.

Chapter IX
City Council Resolution



**A RESOLUTION OF THE CITY COUNTY OF THE CITY OF BEAUMONT,
CALIFORNIA, CERTIFYING ENVIRONMENTAL IMPACT REPORT NO.
93-1 AND APPROVING SPECIFIC PLAN NO. 93-1 (HEARTLAND
SPECIFIC PLAN)**

WHEREAS, an application was duly filed by the Heartland Group for a Specific Plan for 417.2 acres, located northwesterly of the future intersection of Potrero Boulevard and State Route 60, and southerly of San Timoteo Canyon Road; and

WHEREAS, a public hearing was held before the Beaumont Planning Commission on October 4, 1994, and after a thorough evaluation the Planning Commission has found that Environmental Impact Report No. 93-1 has been prepared in accordance with the California Environmental Quality Act; and on the same date the Planning Commission adopted a recommendation that the City Council certify Environmental Impact Report No. 93-1 and approve Specific Plan No. 93-1, the Heartland Specific Plan; and

WHEREAS, a Public Hearing before the Beaumont City Council was called for Monday, October 10, 1994, at 6:00 P.M., and notice of such hearing was given to all affected property owners, as shown on the last equalized assessment roll, in the manner and for the time required by law; and

WHEREAS, said Public Hearing was duly held at said time and Environmental Impact Report EIR-93-1 and Specific Plan SP-93-1, were reviewed by the Beaumont City Council.

**NOW, THEREFORE, IT IS HEREBY RESOLVED BY THE CITY COUNCIL OF
THE CITY OF BEAUMONT, CALIFORNIA, AS FOLLOWS:**

Section 1: The Final Environmental Impact Report, EIR-93-1, is hereby certified and is found to comply with the requirements of the California Environment Quality Act and the City of Beaumont Guidelines for its implementation.


Section 2: The Findings of fact and mitigation monitoring program contained in Exhibits "A" and in the final EIR, respectively, are hereby adopted. Certain significant unmitigatable impacts will result from project implementation, however, overriding considerations are applicable and are adopted herewith and are contained in Exhibit "A".

Section 3: Specific Plan SP-93-1 is consistent with the Land Use Element of the City of Beaumont and other applicable General Plan policies and elements.

Section 4: The City Council hereby approves the Heartland Specific Plan, SP-93-1, subject to the Conditions contained in Exhibit "B" attached hereto.

MOVED, PASSED AND ADOPTED this 10th day of October, 1994,
upon the following vote:

AYES: Mayor Leja, Mayor ProTem Parrott and Council Members
Berg and Russo
NOES: Council Member Brey
ABSTAIN: None
ABSENT: None


MAYOR OF THE CITY OF BEAUMONT

ATTEST:


CITY CLERK

RESOLUTION CERTIFICATION PAGE

STATE OF CALIFORNIA)

COUNTY OF RIVERSIDE)

CITY OF BEAUMONT)

I, JOYCE SNIDER, Deputy City Clerk of the City of Beaumont, California, do hereby certify that the whole number of members of the City Council of the City of Beaumont is five; that Resolution No. 94-23 was duly adopted by the City Council at a regular meeting of the City Council held October 10, 1994 by the following vote:

Ayes: Mayor Jan Leja, Mayor Pro Tem Parrott and Council Members Berg and Russo

Noes: Council Member Brey

Absent: None

Abstentions: None

Witness by my hand and the seal of the City of Beaumont, California on October 11, 1994.



JOYCE SNIDER,
Deputy City Clerk
City of Beaumont, California

EXHIBIT A

**FINDINGS OF FACT AND STATEMENT OF
OVERRIDING CONSIDERATIONS**

**FINDINGS OF FACT AND STATEMENT OF OVERRIDING
CONSIDERATIONS REGARDING THE FINAL
ENVIRONMENTAL IMPACT REPORT
(STATE CLEARINGHOUSE NUMBER 93-72031)**

The City of Beaumont (the "City") hereby certifies the Heartland Specific Plan Final Environmental Impact Report, State Clearinghouse Number 93072031, which consists of the Draft EIR, the Responses to Comments on the Draft EIR, the Mitigation Monitoring/Reporting Program, these Findings of Fact, the Staff Report and any associated attachments (collectively referred to as the "Final EIR"), and finds that it has been completed in compliance with the California Environmental Quality Act (Public Resource Code Section 21000, *et seq.*) ("CEQA") and that the City of Beaumont has received, reviewed and considered the information contained in the Final EIR, all hearings, and submissions of testimony from officials and Departments of the City, the Applicant, the public and other municipalities and agencies.

Having received, reviewed and considered the foregoing information, as well as any and all information in the record, the City of Beaumont hereby makes these Findings of Fact pursuant to, and in accordance with, Section 21081 of the Public Resource Code as follows:

Background

The Heartland Specific Plan provides for 1,224 residential dwelling units ranging from densities of 3.1 DU/AC (dwelling units per acre) to 6.5 DU/AC. Residential is the primary use of this property covering 207.6 acres, with 11.5 acres assigned to commercial use, 8.0 acres for an elementary school, and 50.3 acres for industrial park uses. The developed area is approximately 324.0 acres, or 77.7 percent of the project site. The average residential density of the developed area will be approximately 5.9 DU/AC, while the average density of the total 417.2 acre parcel will be 2.9 DU/AC. Approximately 89.0 acres or 21.3 percent of the property will be maintained as "Passive Open Space." This open space area is characterized primarily by San Timoteo Creek and Cooper's Creek. An active community park covering 23.9 acres, or 5.7 percent of the property, will also be included. The proposed project involves the following approvals from the City of Beaumont: a) Certification of the EIR for the Heartland Specific Plan; b) Adoption of an ordinance a change of zone from a Planned Unit Development (PUD) to a Specific Plan Area (SPA); c) Adoption and approval by resolution of the Heartland Specific Plan, including the Zoning Regulations and Design Guidelines; d) Approval of the Mitigation Monitoring/Reporting Program.

The City of Beaumont circulated copies of the Notice of Preparation (NOP) for the Heartland project in July, 1993 to all Responsible Agencies and interested groups and individuals stating that a Draft Environmental Impact Report (EIR) will be prepared. Various agencies and individuals provided written comments within the State-mandated 30 day public review period for the NOP. These written comments discussed the scope and content of information to be contained within the Draft EIR. Copies of these comments on the NOP are contained within Appendix A of the Draft EIR.

During the months of February, 1994 through May, 1994 and subsequent to the public review of the Notice of Preparation, the City of Beaumont internally reviewed "screencheck" copies of the Draft EIR. Upon completion of this review, copies of the Draft EIR were forwarded to all Responsible Agencies and interested groups and individuals. As was also the case for the Notice of Preparation, the Draft EIR was forwarded to the State Clearinghouse for distribution to and review by various involved State agencies. The State-mandated 45-day public review of the Draft EIR began on June 14, 1994 and ended on July 29, 1994. A Responses to Comments package was prepared which presented written responses to comments received during the public review of the Draft EIR.

The contents of the Draft EIR, the Final EIR which includes and Responses to Comments on the Draft EIR, the Mitigation Monitoring/Reporting Program, these Findings of Fact, the Staff Report, and any other related attachments or additional materials comprise the Staff Report, and any other related attachments or additional materials comprise the Final Environmental Impact Report for the proposed Heartland Specific Plan.

The Final Environmental Impact Report for the Heartland Specific Plan has been prepared for the City of Beaumont in accordance with the California Environmental Quality Act (CEQA), as amended, and City Guidelines for the Implementation of CEQA. More specifically, the City has relied on Section 15084(d)(3) of the State Guidelines which allow acceptance of drafts prepared by the applicant, consultant retained by the applicant, or any other person. The City of Beaumont, as Lead Agency, has reviewed and edited as necessary the submitted "screencheck" copies of the Draft EIR, and the Final EIR package for these documents to reflect its own independent judgement to the extent of its ability including reliance on concerned technical personnel from other City departments.

The Final EIR will also be used to provide baseline data for applications to be submitted to the following State and federal agencies: a) State of California, Department of Fish and Game (consideration of applications for Public Resources Code Sections 1601-1603 Streambed Alteration Agreements); and b) United States Army Corps of Engineers (consideration of applications for Section 404 Permits under the Clean Water Act).

The Environmental Impact Report

An Initial Study for the Heartland Specific Plan was prepared by the City of Beaumont in July, 1993, which identified potential environmental impacts attributable to the proposed project. These potential impact areas include: Seismic Safety, Slopes and Erosion, Flooding, Air Quality, Noise, Wildlife Vegetation, Land Use, Population and Housing, Energy Resources, Toxic Substances, Visual Resources/Light and Glare, Historic, Prehistorical and Paleontological Resources, Traffic and Circulation, Public Facilities and Services (water and sewer, fire protection, police protection, schools, parks and recreation, utilities, solid waste, libraries and health services). In addition,

the State CEQA Guidelines require analysis of Unavoidable Adverse Impacts, Project Alternatives, Growth Inducing Impacts, Cumulative Impacts, and provision of a Mitigation Monitoring/Reporting Program. As a result of the Initial Study, it was determined that the proposed project may have a significant effect on the environment and an Environmental Impact Report (EIR) was required.

The draft and Final EIR analyzed both project and cumulative effects of the potential environmental impacts identified by the Initial Study. The draft and Final EIR developed and identified a variety of mitigation measures to minimize, reduce, avoid or compensate for the potential adverse effect on the proposed project:

The draft EIR discussed four alternatives: the "No Project" Alternative, the "Reduced Scope" Alternative, "Reduced Scope Alternative A" and "Reduced Scope Alternative B". This range of projects should provide the decision-maker with adequate comparative information to assess the appropriateness of the project and provide for the reduction of adverse environmental effects associated with the project. The reduced scope projects have been designed to eliminate adverse biological and public facility/services impacts. Also, the option of providing for an off-site alternative analysis was considered. Based on specified criteria delineated in the draft EIR, no off-site alternative areas were found to be appropriate for analysis.

Public hearings have been held on the project proposal and its associated environmental impacts by the City of Beaumont Planning Commission and City Council prior to the certification of the Final EIR.

The City of Beaumont makes the following findings in adopting a Resolution certifying the FEIR.

Section 1 of these Findings contains the Statement of Overriding Considerations.

Section 2 discusses those potential environmental effects of the proposed project which are not significant or which have been mitigated to a level of insignificance.

Section 3 discusses the significant unavoidable environmental effects of the proposed project which cannot be feasibly mitigated to a level of insignificance.

Section 4 discusses the growth-inducing impacts of the proposed project.

Section 5 discusses the alternatives to the proposed project discussed in the Final EIR.

Section 6 discusses the Mitigation Monitoring/Reporting Program for the proposed project.

Section 7 contains the Section 15092 findings.

The findings set forth in each section are supported by substantial evidence in the administrative record of the proposed project.

SECTION 1 - STATEMENT OF OVERRIDING CONSIDERATIONS

The Final EIR has identified and discussed significant effects which will occur as a result of the proposed Heartland Specific Plan. With the implementation of the mitigation measures discussed in the Draft and Final EIR, these effects can be mitigated to levels of insignificance except for project-related unavoidable significant impacts in the areas of air quality and biological resources on a direct impact basis as well as the identification of the project's contribution to adverse cumulative impacts associated with air quality, noise and biological resources, as identified in Section 3 of these findings.

Having reduced the effects of the proposed project to the extent feasible by adopting the conditions of approval and a program to monitor mitigation measures for certain project impacts (as discussed in Section 2 and 3 of these Findings) and having balanced the benefits of the proposed project against the proposed project's potential unavoidable adverse impacts (as noted in Section 3 of these Findings), the City of Beaumont hereby determines that the benefits of the proposed project outweigh these potential unavoidable adverse impacts based on the following overriding considerations:

1. The proposed project provides a variety of complementary land uses (residential, commercial, industrial park, recreational and open space) within a single mixed use project. These proposed land uses conform to the City of Beaumont General Plan and assist in its implementation.
2. The Heartland Specific Plan provides a total of 1,224 dwelling units which include family-oriented housing which will respond to local and regional housing demand.
3. Approval of the Heartland Specific Plan will provide the necessary master planning to insure provision of necessary infrastructure, desired amenities, and common landscape and design elements which would not be possible if the property were developed using a "piecemeal" approach.
4. Provision of complementary land uses proposed within a single mixed use project will reduce traffic, noise and air quality impacts associated with automobile trips which would otherwise be headed for similar destinations at a further distance. According to the Traffic Analysis contained in the Draft EIR Appendix, a total of 24,620 daily vehicle trips will be generated by the project as currently proposed. Of this total, 5,040 daily trips (or 20.5% of total trips) will remain on the project site with 14,580 external trips being generated.
5. Construction of the proposed project responds to the commercial and recreational market demand by proposing a mixed-use development which includes commercial and industrial park land uses, various recreational facilities (sports park, paseo park and trails, community open space and natural open space) to serve the local and visiting population.

6. According to the Fiscal Impact Report contained in the Final EIR, the project will provide an annual net fiscal benefit to the City of \$313,230.
7. The proposed project will include an 11.5 acre commercial facility for project residents as well as those utilizing the SR 60 and Potrero Boulevard corridors.
8. Drainage facilities will be constructed on-site to contain and direct the flow of stormwater runoff originally upstream of the proposed project and directing this runoff through and downstream of the project site which will eliminate potential on-site flood hazards.
9. The proposed project involves preservation of 89.0 acres of permanently dedicated open space (approximately 21.3% of the subject property). Areas to be preserved include the primary San Timoteo drainage and Cooper's Creek. Major portions of several sensitive wildlife habitats found on-site will also be preserved which include: Willow Riparian, Alluvial Fan and Sage Scrub habitats. Protection of wide open space corridor for San Timoteo Creek will facilitate wildlife movement.
10. Provision of traffic mitigation measures will address the on- and off-site circulation impacts which are directly attributable to the proposed project and those impacts indirectly attributable to the proposed project's incremental contribution to cumulative traffic levels. Off-site roadway improvements will benefit the region by adding capacity to critical off-site intersections and roadways. The proposed project contributes to the implementation of key portions of the City's Master Plan of Arterial Highways including a new freeway interchange, and will be responsible for its fair-share of the costs of necessary regional roadway improvements.
11. The proposed project will provide funding for various regional infrastructure elements through City mitigation fee programs as well as mitigation fees to the affected School District(s).
12. Construction of the proposed project will provide commercial and industrial uses that will accommodate a share of the projected community and regional work force by creating 1,901 long-term employment opportunities thereby enhancing the jobs/housing balance for the area. An additional maximum of 415 short-term construction-related jobs will also be created annually over the project's 10 year development period.
13. The project's design and provisions for landscaping will result in aesthetically pleasing entrance to the City of Beaumont.

SECTION 2 - POTENTIAL ENVIRONMENTAL EFFECTS WHICH ARE NOT SIGNIFICANT OR WHICH HAVE BEEN MITIGATED TO A LEVEL OF INSIGNIFICANCE

All final EIR mitigation measures (as set forth in the Mitigation Monitoring Program attached to these Findings) have been incorporated into the Conditions of Approval for the Heartland Specific Plan.

The City of Beaumont has determined that these mitigation measures and conditions of approval will result in a substantial mitigation of the following effects and that these effects are not considered significant or they have been mitigated to a level of insignificance. The mitigation measures referred to below are contained within the Mitigation Monitoring Program which is attached to these Findings.

Seismic Safety

Potential Impact: Due to the proximity of the San Geronio-Banning fault zone, the intensity of ground shaking that could be expected at the site is relatively higher than the general Southern California area. It is likely that at any given specific point along the fault trace, an 8.0 magnitude event could be expected to produce repeatable high ground acceleration of 0.31g. The predominant bedrock acceleration is anticipated to be 0.54g. The overall liquefaction potential is considered moderate only in the southwestern portion of the project site in alluvial and colluvial soils.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated into the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Slopes and Erosion

Potential Impact: The Geotechnical Feasibility Studies indicate that the development of the Heartland Specific Plan is feasible from a geotechnical viewpoint provided that the recommendations listed in the geotechnical studies included as Technical Appendix C and specific recommendations of detailed geologic studies performed on-site are implemented.

Development of the Heartland Specific Plan will result in approximately 87.4 percent of 364.5 acres of the site being graded. Approximately 12.6 percent or 52.7 acres of the site will remain in its natural state. Grading operations are anticipated to balance on-site.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated into the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Flooding

Potential Impact: The Heartland Specific Plan will alter natural on-site drainage courses and will increase the amount of runoff generated on-site. Development of portions of San Timoteo Creek will result in changes in the existing flowpath and alterations in storm runoff volumes, peak flows, and velocities. Surface runoff and peak flow rates will increase due to the increase in impervious surfaces associated with road, residential and commercial development.

The proposed drainage system involves street conveyance, pipe conveyance, and natural drainage course areas. In the locations where streets cross the natural drainage courses, culverts are proposed to accommodate the natural drainage flow. The drainage system has been designed to allow for the conveyance of 100 year storm flows from off-site upstream tributary areas through and out of the project areas.

The quantity of drainage flows from developed areas on-site will increase surface flows as compared to the existing conditions on-site. This increased flow may be accommodated by the provision of retention basins located and integrated within the proposed on-site open space areas, thus resulting in no net increase in flows from the project into the existing watercourse.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated into the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Water Quality

Potential Impact: Project development also will alter the quality of storm runoff generated from the developed site. It is anticipated that project runoff will contain minor amounts of pollutants typical of urban use, including oil and rubber residues, fertilizer and pesticides, detergents, hydrocarbon particles, and other urban-related debris. In addition, during project construction, soil loss through erosion of exposed soils may occur.

Requirements in the 1987 Clean Water Quality Act for NPDES permits necessitate design practices which ensure optimum water quality from runoff. These permits require that specific Best Management Practices (BMP's) be implemented at the time of construction.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated into the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Potential Impact: Groundwater is present on-site in one major aquifers at depths ranging from 22 to 50 feet. The Beaumont-Cherry Valley Water District uses this aquifer as a local drinking water source.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated into the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Population and Housing

Potential Impact: Based upon a single family housing generation factor of 2.8 persons per dwelling unit (as applied to 1,224 dwelling units), the Heartland Specific Plan is projected to generate a total of 3,428 new residents.

Findings: The increase in population from project implementation and subsequent increased demand for public facilities and services are offset by a net increase in fiscal revenues to the City. This increase is consistent with the General Plan and related projections.

Facts: The above finding is made in that the project will more than offset increased service needs by adding a \$330,000 surplus into the City.

Energy Resources

Potential Impact: Development of the proposed project will increase consumption of energy for motor vehicle movement, space and water heating, lighting, cooking, refrigeration and air conditioning, operation of construction equipment, use of miscellaneous home appliances, and energy required to produce the construction materials and all other material aspects of the project.

On-site electrical demand for the Heartland Specific Plan is estimated at 15,824,440 kilowatts (kwh) per year. The on-site natural gas consumption for the Heartland Specific Plan is estimated to be 104,557,535 cubic feet (c.f.) per year.

The Heartland Specific Plan is anticipated to generate an estimated total of 24,620 vehicle trips per day, of which 19,580 trips are external to the project. These vehicle

trips will place additional demand on petroleum supply by 9,460 gallons consumed per day.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated into the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Toxic Substances

Potential Impact: While the concentration and amount of contamination in the central portion of the project site is minor, the presence of the substances in soils used for graded pad home sites may expose residents to small amounts of toxic substances. This is considered significant and will require mitigation in the form of material and contamination removal and disposal. Proposed residential uses can be expected to produce minor quantities of toxic materials such as household cleaning and landscape maintenance products. Additionally, development of the commercial and industrial uses will potentially result in the presence of toxic and hazardous materials and wastes which must be disposed.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated into the proposed design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Visual Resources/Light & Glare

Potential Impact: Project implementation will permanently alter the nature and appearance of the site, from the current open space, rural use to the urbanized uses proposed by the Heartland Specific Plan. Development of the project will result in creation of views of a developed residential community from SR 60 and San Timoteo Canyon Boulevard. Also, impact from architectural features using reflective materials may cause hazardous glare conditions to drivers on adjacent roads.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated into the proposed design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that identified in the Mitigation Monitoring Program will mitigation identified impacts.

Historic, Prehistoric and Paleontological

Potential Impact: No archaeological sites exist on the project site.

The paleontological sensitivity of some of the geological formations on-site is high and numerous paleontological findings have been discovered in the past in similar formations elsewhere.

Vertebrate fossils have previously recovered from San Timoteo Formation and the Older Alluvium units in the project region.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated into the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Circulation

Potential Impact: Development of this project will be accommodated by the planned circulation system as illustrated in draft EIR. Construction of the first phase of residential development will require interchange improvements at Potrero Boulevard and SR 60. The interchange overpass and Potrero Boulevard would be improved to half the ultimate planned roadway width. Therefore, the Heartland project would be contributing its fair share of construction funds to build the interchange. Financing through the City's Community Facilities District 93-01 under the Comprehensive Public Facilities Financing Plan (CPFFP) will likely be the overall funding mechanism for the interchange. During project construction, some delay may occur on a short-term basis along SR 60 and San Timoteo Canyon Road from construction activities related to the development.

The project will generate approximately 24,620 total Average Daily Trips (ADT) per day with 5,040 ADT which are internal to the project such as trips to the on-site commercial area and school. Externally to the project, therefore, a total ADT of 19,580 will be generated.

Level of Service (LOS) estimates for the year 2006 traffic conditions at the following area intersections, with project trips and traffic from other developments based on the City General Plan update, are projected to operate at LOS "E" or "F" during peak hours with no signalization.

- o 14th Street and I-10 Westbound Ramps
- o 14th Street and I-10 Southbound Left-Turn

- o 14th Street and Desert Lawn Southbound Through Lane
- o Potrero Boulevard and SR 60 Westbound Left-Turn
- o Potrero Boulevard and SR 60 Eastbound Ramps

The most critical to the project is the SR 60 and Potrero Boulevard interchange. The project proposes to contribute to the construction of the interchange and freeway overcrossing with one travel lane each way and one lane for each on-ramp and off-ramp. Based on the traffic analysis, the proposed two lane configuration would be adequate through the interim and year 2006 build-out of the specific plan. The addition of two lanes in each direction of the overpass plus an additional lane for the westbound and eastbound ramps would be required to adequately serve traffic from the year 2015.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated in to the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Water and Sewer

Potential Impact: The project is located with the boundary of the Beaumont-Cherry Valley Water District (BCVWD) and within the boundary of the San Geronio Pass Water Agency (SGPWA). BCVWD is the water retailer for the Project Area and SGPWA is the water wholesaler. BCVWD currently relies on extraction of groundwater from the Beaumont Groundwater Basin, Edgar Canyon and Little San Geronio Canyon. SGPWA currently is in the planning stages to construct imported water facilities which will bring State water project water to the project area. BCVWD and SGPWA have indicated that the Beaumont Groundwater Basin may be in a state of "overdraft" with current annual BCVWD extraction of approximately 5,500 acre feet per year (AFY).

The total estimated average annual water demand for the project is 857,044 gallons per day (MGD). The total maximum day demand for the project is 1.7 MGD. Based on a minimum of 100 feet elevation differential to provide a water pressure of 40 pounds per square inch, Heartland would require a storage reservoir at an elevation of 2,580 feet. Standard public works engineering criteria for determining above ground reservoir storage requirement are based on providing a supply equal to the sum of operational plus fire storage requirements. Operational storage is the volume required to supply the maximum hour rate in excess of the maximum day rate for a four-hour period, without depleting storage by more than one-half. A fire flow of 2,350 gpm will be necessary for the single family residential land use, based on BCVWD fire flow criteria.

The Heartland project lies within the City of Beaumont Sewer Service Area and it is expected that all of the site will be served by the City. Wastewater flows for the study area were calculated based on standard public works engineering criteria. Using an average annual flow factor of 100 gallons per person per day per 2.5 persons per dwelling unit (GPD/DU) for residential land use, the total average daily flow is estimated to be 500,371 gpd. The total peak hourly flow is based on a peaking factor of 2.14. The estimated peak flow for the project site is 654,840 gpd.

The proposed on-site wastewater collection system consists of gravity sewers, a force main and lift station. Regional hook-up of the on-site system is achieved as shown on Exhibit II-31 of the draft EIR. Currently, the City is constructing an expanded sewer treatment facility to treat 1.5 mgd of wastewater. To accommodate total build-out of the City's General Plan, future expansion of the facility would be required.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated in to the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Fire Protection

Potential Impact: The maximum project build-out of 1,224 dwelling units as well as proposed commercial and industrial development will produce a secondary long term adverse impact on the ability of the County of Riverside Fire Department to provide fire protection services.

Based County Fire Department standards, one engine company is required per 2,000 dwelling units or 3 million square feet of commercial and industrial. Using this standard, the project would necessitate the operation of 0.881 additional engine companies (807,602 square feet commercial/ industrial @ 30% site coverage = 26.9 % of 3 million square feet + 1,224 project units = 61.2 % of 2,000 dwelling units = 88.1 % or 0.881 of one engine company. Essentially, therefore, the project would require one additional engine company to meet the standard.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated in to the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Police Protection

Potential Impact: The Heartland project will result in an increase in the area's population. As a result of population increase, it is anticipated that criminal activity such as burglaries, thefts, assaults, vandalism, etc., will increase incrementally. As the population and use of an area increases, additional financing of equipment and manpower needs will be required to meet this increased demand. The Heartland Specific Plan would require approximately 6 police officers to provide adequate law enforcement protection.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated in to the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Schools

Potential Impact: Build-out of the Heartland Specific Plan will cause an increased need for school facilities within the BUSD. Utilizing student generation rates as given by the BUSD, full build-out of 1,224 dwelling units within the specific plan will generate 551 students for grades K through sixth (0.45 students per dwelling unit), 153 students for grades seventh through eighth (0.125 students per dwelling unit) and 276 students for grades ninth through twelfth (0.225 students per dwelling unit). The proposed project will add 551 elementary school students to the District which will have to be provided with facilities on site. The project would add 153 students to Mt. View Junior High which, without any other growth, would exceed its capacity by 84 students. Also, the project addition of 276 students would, without any other growth, exceed Beaumont High School's capacity by 3 students.

In summary, the ultimate build-out of the Heartland Specific Plan will, without proper mitigation, cause a significant impact on the ability of the BUSD to provide educational facilities.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated in to the proposed project design will reduce the impacts identified in the FEIR to an insignificant level. The project will adhere to City of Beaumont policies, which are based on a cooperative agreement between the City and BUSD.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Parks and Recreation

Potential Impact: Based upon standards delineated in the Quimby Act, five acres of active park land per 1,000 persons would be required to adequately serve the proposed project. Basing the specific plan population on the standard of 2.8 persons per household, the project, at 1,224 units, would have a population of 3,428. This population would therefore require 17.2 acres of active park land. The County of Riverside uses the additional standard of twenty-five (25) acres of natural open space per 1,000 people. Thus, the project would necessitate 85.7 acres of natural open space. The project proposes 89.0 acres of natural open space associated with San Timoteo Creek and Cooper's Creek. An active paseo sports park site has been designated within the specific plan totaling 23.9 acres, which is beyond the Quimby Act standard of 17.2 acres. Additionally, a 1.4 acre respite park has been provided for the proposed industrial park. This park has been designed to be used by future employees of the industrial park during breaks and lunch hour.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated in to the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Utilities

Potential Impact: Project development will result in an increased demand for electrical and natural gas services. The Southern California Edison Company, the Southern California Gas Company, and the General Telephone Company will provide their respective services to the Heartland Specific Plan project site in accordance with the policies and rules for extension of services on file with the California Public Utilities Commission.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated in to the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Solid Waste

Potential Impact: Development of the project will increase the amount of solid waste generated in the region by 28.5 tons per day, which in turn will ultimately shorten the lifespan of the Lamb Canyon Landfill as well as increase the demand upon the waste haulers in the project area.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated in to the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Libraries

Potential Impact: Implementation the proposed land uses will contribute to a cumulative impact on a regional level to the existing library system by increasing the population in the project vicinity, and the corresponding demand for services. The existing library can adequately service a population of approximately 20,000. It is anticipated that within five to seven years additional library facilities will be needed to serve the City's growing population. Upon build-out of the General Plan, which includes the Heartland project, approximately 50,000 square feet of library facility would be required to meet the needs of the public and library staff. The Library Board of Trustees has a long-range facilities improvement plan in place, and these facilities should be adequate for a 10- to 20-year growth period.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated in to the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified impacts.

Health Services

Potential Impacts: Although project development will increase the need for medical services and facilities, significant adverse impacts are not anticipated. Adequate health care facilities and services are anticipated, as the medical community grows commensurate with the increase in population.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated in to the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: No mitigation measures are proposed or are necessary.

Fiscal Considerations/jobs-Housing Balance

Potential Impact: The Fiscal Impact Report indicates that development of the Heartland Specific Plan is estimated to generate a positive net fiscal impact to the City of Beaumont. Once completely build-out, the Heartland planned community will generate a fiscal surplus to the City of Beaumont of \$330,000 per year.

In addition to the positive fiscal impacts the Heartland Specific Plan will generate, the new community also will create significant new employment within the City of Beaumont and the surrounding region. Permanent non-construction employment within the community will total 1,901 jobs. Construction employees at the Potrero Creek project over the 10-year development period will be a maximum of 415 jobs annually.

The Heartland project fully complies with the jobs/housing balance criteria as set forth in the SCAG Growth Management Plan.

The total potential on-site work force which could live within the Heartland Specific Plan community totals 100 percent with a surplus of 885 jobs.

Findings: Conditions of approval, monitored mitigation measures, and features incorporated in to the proposed project design will reduce the impacts identified in the FEIR to an insignificant level.

Facts: No mitigation measures are proposed or are necessary.

Land Use

Potential Impact: The Heartland project will result in a substantive change in the character of the 417 acre site. The majority of the project site will be mass-graded and developed with residential neighborhoods, a commercial site, parks, industrial areas and appurtenant improvements such as roadways, infrastructure and utilities.

The commercial site is located along Potrero Boulevard along SR 60. The concentration of commercial uses near the interchange is consistent with the land use planning practices which concentrate such uses at high visibility, high accessibility areas where traffic and noise considerations would preclude residential uses.

The proposed industrial park is located along the Southern Pacific Railroad and San Timoteo Canyon Road. The presence of the railroad is an important driving force from a public health and safety standpoint for the inclusion of the industrial uses in this area. Due to noise impacts from railroad operations as well as accident potential relative to train derailment and/or accidental spillage of toxic substance being transported, residential uses in this area are inherently precluded.

The project will lead to an extension of the urbanizing trend of the City of Beaumont as allowed under its adopted general plan which is allowing the City to grow from the east and west along the SR 60 corridor. The General Plan calls for overall specific plan designations for properties to the north south and east of the project site with residential density range designation that are the same as the project site - 2.4 to 4.1 dwelling units per acre.

The land use plan proposed is largely in character with the urbanizing trend of the adopted General Plan. As described above, the residential products and lot sizes proposed are also similar in nature to the allowable uses as designated by the General Plan for adjacent areas. The project will lead to an extension of the urbanizing trend of the City of Beaumont as allowed under its adopted general plan which is allowing the City to grow from the east and west along the SR 60 corridor. The General Plan calls for overall specific plan designations for properties to the north south and east of the project site with residential density range designation that are the same as the project site - 2.4 to 4.1 dwelling units per acre. The land use plan proposed is largely in character with the urbanizing trend of the adopted General Plan. As described above, the residential products and lot sizes proposed are also similar in nature to the allowable uses as designated by the General Plan for adjacent areas.

Findings: No specific measures are proposed.

Facts: The draft EIR did identify potential impacts relative to the continued use of the adjacent De Anza Motorcycle Park. However, a comment letter received on the draft EIR by the Riverside County Regional Park and Open Space District stated that off-road use has been precluded in the area. Therefore, measures identified relative to this impact are no longer necessary.

Noise

Potential Impact: Noise impacts will occur on site from, (1) project construction, (2) project operation produced traffic, (3) project produced traffic plus cumulative traffic from other development in the City and (4) railroad operations on the Southern Pacific Railroad tracks. In noise impact assessment of land use projects, increases of noise over 3 DBA are considered significant. Most roadways will not exceed this threshold except for San Timoteo Canyon Road between I-10 and Potrero Boulevard. No existing residential development occurs along this roadway, and, the City General Plan Update provides for open space uses in the subject area adjacent to the much of the road. Commercial and Light Industrial land uses are also proposed along San Timoteo Canyon Road which are not considered noise sensitive. However, interior noise levels are of concern for these uses, which will require noise assessments and building design recommendations.

Increases over existing noise levels are significant due to the low level of traffic currently on area roadways surrounding the project site. Significant increases which will affect existing residences occur along SR 60 east of Potrero Boulevard and east of Jack Rabbit Trail; along San Timoteo Canyon Road between Potrero Boulevard and Jack Rabbit Trail; along Beaumont Avenue between 14th Street and I-10. However, the General Plan update identifies these areas for specific plan uses which would preclude the long-term occupation of these home sites. Noise studies and recommendations for future specific plan uses in these areas will address these noise impacts and provide mitigation.

Exterior noise levels from traffic are anticipated to exceed 65 CNEL along SR 60 and Potrero Boulevard for homes situated on lots at the end of cul-de-sacs within Planning Areas 1 and 5. Similar lots proposed within Planning Area 4 are located close to the 65 CNEL contour, and, since the contours are based on conditions with no topographical changes, the final graded elevation for this planning area may make some of the lots fall within the contour.

Also, the proposed commercial area is affected by the 65 CNEL contour. While outdoor levels are not a concern with respect to commercial areas, interior noise levels of less than 55 CNEL, as required by the City, may be difficult to achieve without special building design considerations.

Based on the above, a potential significant impact relative to noise was identified for on-site land uses within Planning Areas 1, 4, 5 and the Commercial Area relative to roadway noise impacts.

The operation of trains on the Southern Pacific Railroad which traverses the northern portion of the project site is expected to impact industrial park uses within Planning Area 11 also as illustrated on Exhibit II-25 of the draft EIR. The Heartland property is located approximately 100 feet from the track centerline. With a typical building setback of 20 feet, a CNEL level of 70.3 could be produced by train operations. Buildings located in the vicinity of this contour could experience noise that exceeds interior City noise level standards of 50 CNEL for office uses. The City interior standard of 65 CNEL for light industrial uses would likely not be exceeded. Therefore, railroad noise impacts for lots located adjacent to the tracks is considered potentially significant within Planning Area 11, especially if office uses are proposed.

Findings: Conditions of Approval, monitored mitigation measures and features incorporated into the proposed project design will reduce the impacts identified to an insignificant level. A significant cumulative impact relative to noise is also identified since the project implements the City's General Plan Update, whose EIR identified a significant unmitigated cumulative impact relative to noise.

Facts: The above finding is made in that Mitigation Measures identified in the Mitigation Monitoring Program will mitigate the identified project impacts. A Statement of Overriding Findings of Significance has been included relative to cumulative noise impacts.

SECTION 3 - SIGNIFICANT UNAVOIDABLE ENVIRONMENTAL EFFECTS WHICH CANNOT BE MITIGATED TO A LEVEL OF INSIGNIFICANCE

The City of Beaumont has determined that certain environmental effects (both project-related and cumulative) cannot be feasibly or objectively mitigated to a level of insignificance, although the Final EIR contains mitigation measures and conditions of approval to be imposed on the proposed project which will provide a substantial mitigation of these effects. Consequently, in accordance with Section 15093 of the State CEQA Guidelines, a Statement of Overriding Considerations has been prepared (See Section 1 of these Findings) to substantiate the City's decision to accept these unavoidable adverse environmental effects in light of the benefits afforded by the proposed project. The mitigation measures referred to below are contained within the Mitigation Monitoring Program which is attached to these Findings.

Climate and Air Quality

Potential Impact: Air pollutants will be emitted by construction equipment and dust will be generated during grading and site preparation. An estimated 28.4 pounds per day of particulate emissions can be anticipated during project grading. The greatest project-related air quality impact results from daily vehicle trips. Additional emissions will be generated by combustion from generating electricity and natural gas to meet project demands.

The total emissions generated by the project area 2,739.56 pounds per day of Carbon Monoxide, 802.89 pounds per day of Nitrogen Oxides, 17.47 pounds per day of Sulfur Oxides, 103.12 pounds per day of Particulates and 143.29 pounds per day of Reactive Organic Gases, several of which exceed thresholds of significance as established by the South Coast Air Quality Management District.

The project also contributes a significant cumulative impact to air quality. Neither existing or future CO levels exceed State and Federal 1 and 8 hour standards at any of the affected off-site intersections.

Findings: The impacts identified in the Final EIR cannot be mitigated to a level of insignificance. However, conditions of approval, monitored mitigation measures, and features incorporated into the proposed project will reduce, to the extent feasible, the adverse environmental effect.

Facts: The above finding is made in that a Statement of Overriding Considerations has been prepared for the proposed project (See Section 1 of these Findings) and that Mitigation Measures identified in the Mitigation Monitoring Program will partially mitigate the identified impacts.

Wildlife/Vegetation

Potential Impact: The following species are considered from a CEQA perspective to be endangered, rare or sensitive, therefore, any direct loss of individuals or habitat would require mitigation to reduce impacts to a level of insignificance.

- o Plants
 - None.
- o Animals
 - Golden Eagle (California Protected)
 - Least Bell's Vireo (State and Federal Endangered)
- o Habitats
 - Riparian Area (potential least Bell's vireo habitat also regulated by State Fish and Game Code Section 1601 and federal Clean Water Act Section 404)
 - Alluvial Fan Sage Scrub (golden eagle foraging habitat/supports several sensitive animal species/unique characteristics/regulated under Clean Water Act Section 404 and Fish and Game Code Section 1601 and is threatened by continued development)

It should be noted that many of the sensitive species which are found on the project site are federal Category 2 species and/or are State designated Species of Special Concern. While, based on the criteria listed previously, direct project impacts to Category 2 species are not considered significant, secondary and cumulative effects would be considered significant since continued loss of habitat and populations for these species would force their redesignation to Category 1 or, in extreme cases of continued loss, threatened or endangered status.

The project will also result in the loss of open space and the natural plant communities which occupy the specific plan site. Based on the preliminary grading study prepared for the project, the project will primarily result in the loss of cultivated area and the disjunct patches of coastal sage scrub.

Sensitive animal species and habitats considered to be significant which would be adversely affected are discussed as follows:

- o Least Bell's Vireo

As indicated in the draft EIR, no direct habitat disturbance is attributable to the proposed project which has completely avoided impacts to potential vireo habitat in Cooper's Creek. It should be noted, however, that ultimate

development of Jack Rabbit Trail Road, which would be improved as part of the regional circulation system of the City of Beaumont, in its current conceptual alignment would traverse Cooper's Creek and potentially adversely impact the riparian area when other developments require the construction of this roadway to meet their circulation requirements. If vireo were present in this area, impacts would be potentially significant from a cumulative perspective - the Heartland project in and of itself does not require this crossing to maintain adequate traffic flow.

- o Raptors

The conversion of 364.5 acres of open space to suburban uses would result in a reduction in foraging habitat for the golden eagle as well as several other sensitive raptor species including burrowing owl. This is considered significant on a cumulative basis.

- o Alluvial Fan Sage Scrub/Coastal Sage Scrub

The project will result in the loss of 32.7 % of the alluvial fan sage scrub community and adversely affect a concomitant portion of habitat for several sensitive species such as the San Diego horned lizard, orange-throated whiptail, several raptor species and the Los Angeles pocket mouse. Also, virtually all of the patches of coastal sage scrub will be removed during project grading activities. These areas provide limited habitat for the above species as well as the Fallbrook spine flower. Loss of these patches of coastal sage scrub are considered cumulatively significant while loss of over 30 percent of the alluvial fan sage scrub is considered a direct project induced significant adverse impact.

- o Waters of the United States/Stream Bed Alteration

Approximately 40.5 acres of the San Timoteo Creek wash will be filled and/or altered, much of which is associated with alluvial fan sage scrub habitat and can be considered "Waters of the United States" and "stream bed" area (see Exhibit II-20 of the draft EIR). Per the federal Clean Water Act and the State of California Fish and Game Code, impacts to this area would be subject to the Section 404/1601 Permit Process due to the filling and grading of these area from project implementation. The project has proposed to fill portions of this area and protect channel sides from erosion with rip-rap. Since impact to this area is potentially in violation with, and regulated by, State and federal statutes, impacts are considered significant and thus would require mitigation.

Findings: Direct project impacts to waters of the United States/Stream bed areas associated with Cooper's Creek and San Timoteo Creek are considered reduced to a level of insignificance. With respect to the alluvial fan sage scrub area, 66.7 percent avoidance along with replanting of disturbed areas is not considered substantial avoidance and will not reduce impacts to acceptable levels according to the project biological report.

On a secondary and cumulative impact basis, the incremental loss of the patches of coastal sage scrub during grading is considered significant and unmitigated. The potential disturbance of least Bell's vireo habitat from the construction of Jack Rabbit Trail Road is considered significant but mitigable based on wetland permit requirements and the construction of a free-span bridge or other means as deemed appropriate by the USFWS and CDFG if vireo habitat is found. Finally, loss of golden eagle and other raptor foraging habitat is also considered cumulatively significant and unmitigable on a single-project basis.

Facts: The above finding is made in that a Statement of Overriding Considerations has been prepared for the proposed project and that Mitigation Measures identified in the Mitigation Monitoring Program partially mitigate the identified impact.

SECTION 4 - GROWTH INDUCING IMPACTS OF THE PROPOSED PROJECT

The Heartland Specific Plan project is located adjacent to the western boundary of the City of Beaumont. The City, in 1993, completed a General Plan Update for its incorporated area and its Sphere of Influence. The current General Plan was adopted with a certified EIR which designated the project site for Specific Plan uses with density range of 2.0 to 4.1 dwelling units per acre. The project, at 2.9 dwelling units per acre, fits within the land use parameters identified in the General Plan. Of note is the fact that all of the properties which surround the project site have also been given specific plan land use designations (see Exhibit III-1 of the draft EIR).

Generally, projects are growth inducing when they could:

- o Establish a more intense land use than currently exists
- o Increase land use intensity over and above the existing General Plan/Zoning designations of the site and surrounding area
- o Place infrastructure such as roads, water lines or sewer lines in areas which currently have no such facilities

While the Heartland project does propose a land use intensity greater than what currently exists, the specific plan calls for land uses which are consistent with the City General Plan. Also, while infrastructure will be extended into the site to serve the project, the fact that SR 60 already exists and forms the southern boundary of the project site has already provided the primary means for growth - its existence was likely the primary factor in the current designation of the site in the General Plan. While there is infrastructure plan formulation currently being considered by City officials, with the Heartland property as a participant, initiation and implementation of the infrastructure plan would not occur without the initial general plan designation and the potential subsequent adoption of the specific plan which this document analyzes. Therefore, the proposed project is more accurately described as a secondary growth inducing factor in the area with the primary factors being the existence of SR 60 and the designation of the site (and surrounding properties) for specific plan uses in the City of Beaumont General Plan.

SECTION 5 - FINDINGS REGARDING ALTERNATIVES

Alternatives to the proposed project described in the EIR were considered. The alternatives discussed in the EIR constitute a reasonable range of potential options necessary to permit a reasoned choice. The EIR identified the "No Project" Alternative, "Reduced Scope" Alternative and "Reduced Scope Alternative A;" however, the City did not select these alternatives but approves the proposed project with the Final EIR mitigation measures which will provide a substantial mitigation of the potential environmental effects. Consequently, in accordance with Section 15093 of the State CEQA Guidelines, a Statement of Overriding Considerations has been prepared (See Section 1 of these Findings) to substantiate the City's decision to approve the proposed project in spite of certain significant unavoidable environmental impacts associated with the project proposal.

Alternative 1 - The "No Project Alternative

Description of Alternative: Under the "no project" alternative the proposed project site would remain in its present condition as undeveloped.

Comparison of Effects: The "No Project" would eliminate all of the environmental effects identified in Section 2 and 3 herein and is environmentally superior to the project as proposed.

Findings: The "No Project" Alternative is rejected because it is inconsistent with the City's adopted General Plan.

Facts: The above finding is made because the site has been designated as Specific Plan Area (SPA) in the City of Beaumont General Plan.

Alternative 2 - Reduced Scope Alternative

Description of Alternative: This alternative calls for substantial avoidance of significant viewshed areas located on the project site. Drainage courses and associated alluvial fan sage scrub habitat would be avoided. Also, Waters of the United States have been substantially avoided under this scenario. Based on this alternative, a reduced amount of grading and roadway improvements would be necessary. Residential uses adjacent to escarpment areas would be located as to avoid mass alteration of existing slopes and follow existing ground contours. Total residential units would be 675 on 111.4 acres with an overall density of 1.5 dwelling units per acre. This is approximately half of the number of units proposed under the project. The commercial area would remain approximately the same as the proposed project, however, the business park area would be reduced in size to 18.8 acres from 50.3 acres as proposed by the project. This was done in order to avoid Waters of the United States and alluvial fan sage scrub. Four parks would be provided throughout the specific plan along with a 9.3 acre elementary school/park area in the central portion of the property.

Comparison of Effects: This alternative would reduce impacts to viewshed resources, steep slopes, Waters of the United States and create less demand on public facilities and services.

Findings: The "Reduced Scope" alternative is considered environmentally superior. However, this alternative was rejected in favor of the project since the number of units proposed would not be able to cover the infrastructure financing debt already placed on the property.

Facts: In accordance with the site designation for Specific Plan uses, the property was placed in the City's Community Facilities District 93-1. This district was formed to meet both immediate and future infrastructure needs based on the adopted General Plan.

Alternative 3 - Reduced Scope Alternative A

Description of Alternative: This project is a modified version of the reduced scope alternative with 584 units and 150.5 acres developed. This alternative would attempt to avoid additional escarpment and steep slope area in the southwestern portion of the project site.

Comparison of Effects: Impacts would be the same as the Reduced Scope Alternative except for slightly less impacts relative to public facilities and services - from a 44.8 percent reduction to a 52.3 percent reduction (by 7.5 percent) as compared to the project. This scenario would also provide 260.4 acres of natural open space which is 171.4 acres more than the proposed project and a 7.0 percent increase in natural slope and Riversidean sage scrub area as compared to the Reduced Scope Alternative

Finding: The "Reduced Scope A" alternative is considered environmentally superior. However, this alternative was rejected in favor of the project since the number of units proposed would not be able to cover the infrastructure financing debt already placed on the property.

Facts: In accordance with the site designation for Specific Plan uses, the property was placed in the City's Community Facilities District 93-1. This district was formed to meet both immediate and future infrastructure needs based on the adopted General Plan.

Alternative 4 - Reduced Scope Alternative B

Description of Alternative: This alternative calls for a large lot, custom home subdivision to be placed on the subject property with rural residential zoning. Development would call for a residential circulation system which meets minimum road and fire safety standards. Private driveways would serve each parcel which would be 2 acre gross minimum lot sizes with one graded pad and home associated with

each. San Timoteo Creek wash would be left in its current condition under this development approach so as to avoid any need for flood control improvement. This scenario would allow 85 homes to be built within the site covering 297.5 acres with 119.7 acres remaining as natural open space. Each home would be served by its own on-site septic system while water service would be provided by the Beaumont Cherry Valley Water District. Also, Potrero Boulevard would have to be minimally constructed to half-width improvements as would its interim interchange with SR 60 just as would occur under the proposed project. Full build-out of the interchange would not be necessary for this project scenario, however, for anticipated area development per the City General Plan the fully improved interchange would be necessary.

Comparison of Effects: This scenario provides for a 25.6 percent increase in natural open space as compared to the project. This moderate increase is realized due to the placement of fewer homes on more acres of land. Of note is the fact that there is only zoning controls to guide development of each parcel, therefore, individual actions of each property owner as well as the placement of fences around each lot would preclude the use of the lot area around each home as natural open space. Also, this alternative would provide for a 93.1 percent decrease in relative public facility and services impacts as compared to the project.

Finding: This alternative has been rejected in favor of the project and is not considered environmentally superior to the project.

Facts: No jobs would be created under this scenario as compared to the project or the other alternatives, and, degradation of Cooper's Creek could occur from minimally controlled residential development adjacent to the drainage course area. Also, the use of septic systems could increase adverse water quality impacts due to the potential contamination of local groundwater areas. Finally this approach is not consistent with the City General Plan nor the infrastructure planning associated with City of Beaumont CFD 93-1/Comprehensive Public Facilities Financing Plan (CPFFP) which estimated facility costs relative to General Plan build-out and spreads these costs to participating properties accordingly.

Alternative 4 - Reduced Scope Alternative C

Description of Alternative: This alternative considered the area used as industrial park for residential uses of the type a density proposed in the remaining specific plan. The 50.3 acre Planning Area located in the northern portion of the project site adjacent to the Southern Pacific Railroad Tracks will be used for 326 residential units at 6.5 dwelling units per acre. All other characteristics would remain the same at the project under this approach. This would make the total residential unit count for the specific plan 1,550 units with an overall density of 3.7 dwelling units per acre. This density is within the allowable General Plan update density of 2.0 - 4.1 dwelling units per acre.

Comparison of Effects: Under this alternative, an increase in resident population to 4,340 persons, a 26.6 increase over the project, would occur. With the removal of the industrial park, there would be less impacts relative to toxic hazards due to the shift in potential high-volume toxic producing uses to very low volume, lower risk household toxic producing uses. Also, the addition of a permanent residential population on the project site would expose more population to seismic hazards as well as noise from the railroad operations. It should be noted, too, that a slight increase in water/sewer demand would be created under this scenario as compared to the project (e.g., 181,080 average gallons of water per day for industrial compared to 182,560 gallons of water per day for the residential uses proposed in this area). This is indicative of all public facilities and services requirements under this alternative - a slight increase in demand is experienced. In addition to this increase, a decrease in fiscal revenues from the industrial uses occurs under this scenario. Finally, this alternative would generate the requirement for 1,287 jobs and only create 391 jobs with the commercial use. This would exacerbate the jobs-housing balance and increase regional traffic and air quality problems.

Findings: This alternative cannot be considered environmentally superior to the proposed project and is rejected in favor of the project.

Facts: Reduced Scope C, while having less impacts in some respects as compared to the proposed project, cannot be considered environmentally superior due to the exacerbation of the jobs/housing balance in the region and the subsequent potential to increase public facilities and services requirements, increase traffic and air quality impacts and decrease fiscal revenues in relation to fiscal support requirements.

Alternative 5 - Reduced Scope Alternative D

Description of Alternative: This alternative calls for the replacement of the industrial park with a nine-hole golf course with the total number of dwelling units the same as the proposed project.

Comparison of Effects: This development scenario would have approximately the same impacts as the proposed project except for a slight decrease in public facilities and services. An increase in water usage to support the golf course would, however, occur under this alternative as compared to the project. Also, while an increase in on-site and City-wide recreational facilities would be experienced under this approach, a large decrease in the number of jobs due to the elimination of the industrial park would occur - the golf course operation would produce some jobs, but in no way could produce the same number as the industrial park proposed under the project. Finally, while the golf course would require grading and slope protection due to its location relative to San Timoteo Creek, the intensity of these construction operations would be less than the project (except for the golf club facility) since golf course areas do not have the same requirements as would graded pad areas which support buildings for human occupancy.

Findings: This alternative cannot be considered environmentally superior to the proposed project and is rejected in favor of the project.

Facts: Reduced Scope D, while having less impacts in some respects as compared to the proposed project, cannot be considered environmentally superior due to the exacerbation of the jobs/housing balance in the region and decrease fiscal revenues in relation to fiscal support requirements.

SECTION 6 - FINDINGS REGARDING MITIGATION MONITORING PROGRAM

Section 21081.6 of the Public Resources Code requires that when a public agency is making the findings required by State CEQA Guidelines Section 15091(a)(1), codified as Section 21081(a) of the Public Resources Code, the public agency shall adopt a reporting or monitoring program for the changes to the proposed project which it has adopted or made a condition of approval, in order to mitigate or avoid significant effects on the environment.

The City of Beaumont hereby finds and accepts that the Mitigation Monitoring Program, which is included in the Final EIR document and these Findings, meets the requirements of Section 21081.6 of the Public Resources Code by providing for the implementation and monitoring of project conditions intended to mitigate potential environmental effects.

SECTION 7 - SECTION 15092 FINDINGS

Based on the information contained in sections 2, 3 and 5 of these Findings, the City of Beaumont has made one or more of the following findings with respect to the significant effects of the proposed project:

- A. Changes or alterations have been required in, or incorporated into, the proposed project which mitigate or avoid many of the significant environmental effects thereof as identified in the Final Environmental Impact Report.
- B. Some changes or alterations are within the responsibility and jurisdiction of another public agency and such changes have been adopted by such other agency, or can and should be adopted by such other agency.
- C. Specific economic, social, or other considerations make infeasible the mitigation measures or alternatives identified in the Final Environmental Impact Report.

Based on the foregoing findings and the information contained in the record, and as conditioned by the foregoing findings:

- A. All significant effects on the environment due to the proposed project have been eliminated or substantially lessened where feasible (see Sections 2 and 3 of these Findings).
- B. The benefits of the proposed project set forth in the foregoing Statement of Overriding Considerations (see Section 1 of these Findings) outweigh any remaining significant effects of the project on the environment found to be unavoidable.